



HOUSE of REPRESENTATIVES

STATE OF MICHIGAN

Appropriations Requests for Legislatively Directed Spending Items

1. The sponsoring representative's first name:
Jay
2. The sponsoring representative's last name:
DeBoyer
3. The cosponsoring representatives' names. All cosponsors must be listed. If none, please type 'n/a.' A signed letter from the sponsor approving the co-sponsorship and a signed letter from the member wishing to co-sponsor are required. Attach letters at question #9 below.
n/a
4. Name of the entity that the spending item is intended for:
City of Marine City, MI
5. Physical address of the entity that the spending item is intended for:
260 S. Parker, Marine City, MI 48039
6. If there is not a specific recipient, the intended location of the project or activity:
Guy Community Center – 545 Ward Street, Marine City, MI. 48039
7. Name of the representative and the district number where the legislatively directed spending item is located:
Representative Jay DeBoyer -District #63
8. Purpose of the legislatively directed spending item. Please include how it provides a public benefit and why it is an appropriate use of taxpayer funding. Please also demonstrate that the item does not violate Article IV, S 30 of the Michigan Constitution.
The conversion of the Lion's Club facilities into the Marine City Guy community center continues a long tradition of a facility that promotes community engagement and is supported by many organizations including the Marine City Area Chamber of Commerce, Economic Development Alliance of St. Clair County, United Way of St. Clair County, Great Start Collaborative St. Clair County, Blue Water Community Action, Community Enterprises, Michigan State University Extension, The Council on Aging, inc., Marine City Lions Club, Marine City Little League, and Friends of the St. Clair River. These

organizations have expressed excitement and support for the development of the Guy Community Center which will foster economic development, improve the quality of life for residents and turn an underutilized space into a place of civic collaboration. The organizations in support of the project as well as the broader community are excited to have a venue to offer year-round programming, education, meeting space, outdoor activities, and an area to socialize. Among the many reasons these organizations have stepped up to partner with the City of Marine City to support the project are the many functions the facility will serve in the community: from the Lion's distributing medical supplies to seniors and those in need, to hosting high school sports dinners, to a place where people hold club meetings, weddings & many other get togethers, this community center will be a hub for economic and community development. Making improvements to the facility through the RAP process will update the main building to be fully ADA compliant, revitalize the outside pavilion area currently abandoned, increase amenities by adding in a splashpad, beautifying the area through removal of chain link fencing, add outdoor bathrooms, and enable the Guy Community Center to become the trail head for the Marine City segment of the Bridge to Bay walking and biking trail. The project will also create an open and safe space adjacent to the campus' of both the Marine City High School and Marine City Middle School.

9. **Attach documents here if needed:**

Attachments added to the end of this file.

10. **The amount of state funding requested for the legislatively directed spending item.**

1000000

11. **Has the legislatively directed spending item previously received any of the following types of funding? Check all that apply.**

["State","Local","Private"]

12. **Please select one of the following groups that describes the entity requesting the legislatively directed spending item:**

Governmental entity – a Municipal corporation – EIN # 38-600-4573

13. **For a non-profit organization, has the organization been operating within Michigan for the preceding 36 months?**

Not applicable

14. **For a non-profit organization, has the entity had a physical office within Michigan for the preceding 12 months?**

Not applicable

15. **For a non-profit organization, does the organization have a board of directors?**

Not applicable

16. For a non-profit organization, list all the active members on the organization's board of directors and any other officers. If this question is not applicable, please type 'n/a.'

n/a

17. "I certify that neither the sponsoring representative nor the sponsoring representative's staff or immediate family has a direct or indirect pecuniary interest in the legislatively directed spending item."

Yes, this is correct

18. Anticipated start and end dates for the legislatively directed spending item:

October 2025 -Start / END projected to be October 2026

19. "I hereby certify that all information provided in this request is true and accurate."

Yes

CITY OF MARINE CITY

GUY COMMUNITY CENTER PARK

REVISIONING AND REVITALIZING URBAN COMMUNITY LIFE AND ECONOMY

DESIGN TEAM: David DeLind, PE (CLIENT MANAGER)
LISA EASTERWOOD (PROJECT MANAGER)
AMAN GOLSHAN, MLA (LANDSCAPE ARCHITECTURE)
MASON DYKE, EIT (CIVIL ENGINEERING)





PAVILION

MARKET SHEDS

SPLASH PAD

PATIO

RESTROOM

CITY OF MARINE CITY
GUY COMMUNITY CENTER







GUY COMMUNITY CENTER



GUY COMMUNITY CENTER

















































SITE LAYOUT SHOWING POP UP FARMERS MARKET VENDOR TENTS



VIEW WITH POP UP FARMERS MARKET VENDOR TENTS



VIEW WITH POP UP FARMERS MARKET VENDOR TENTS





VIEW WITH POP UP FARMERS MARKET VENDOR TENTS

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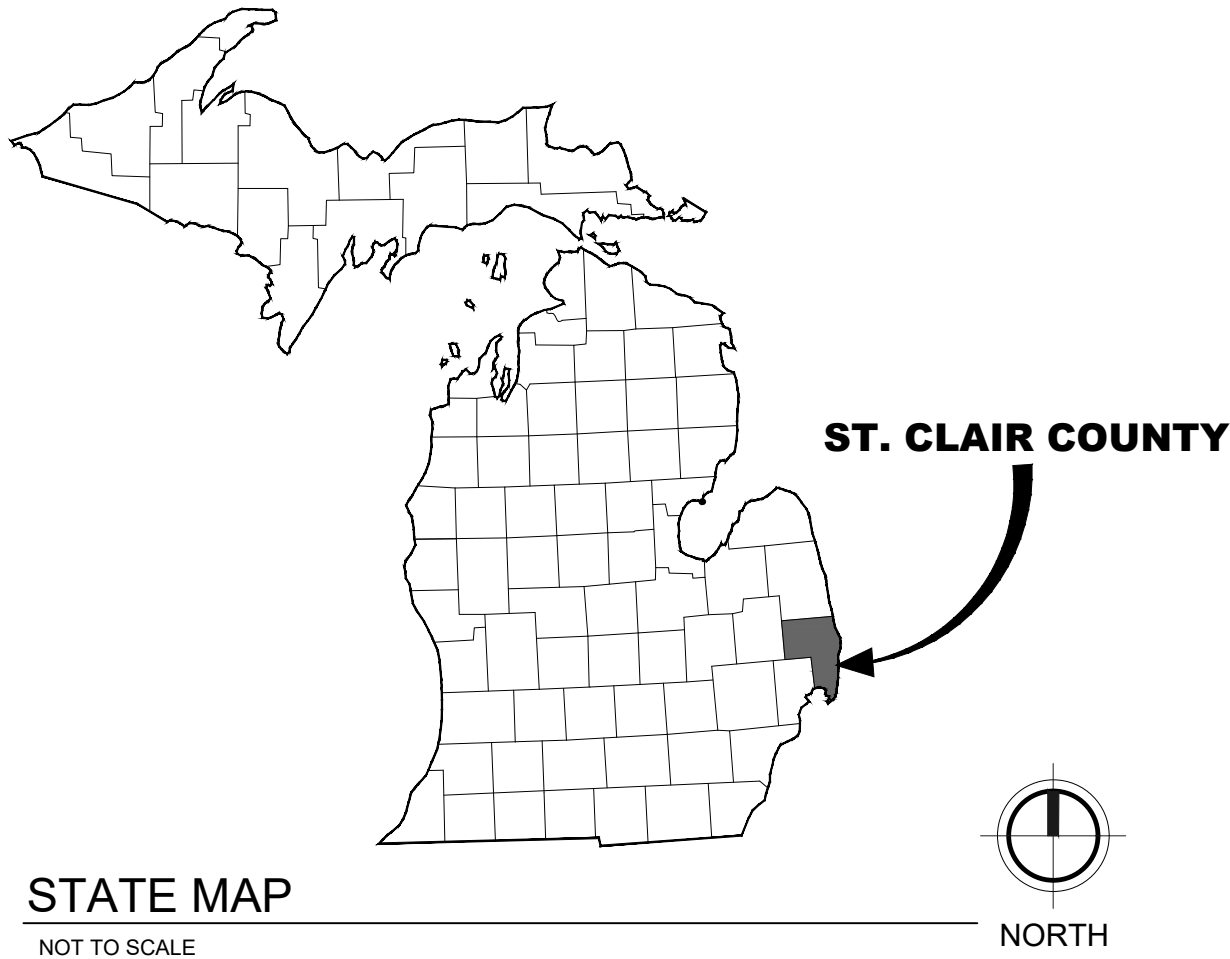


VIEW WITH POP UP FARMERS MARKET VENDOR TENTS



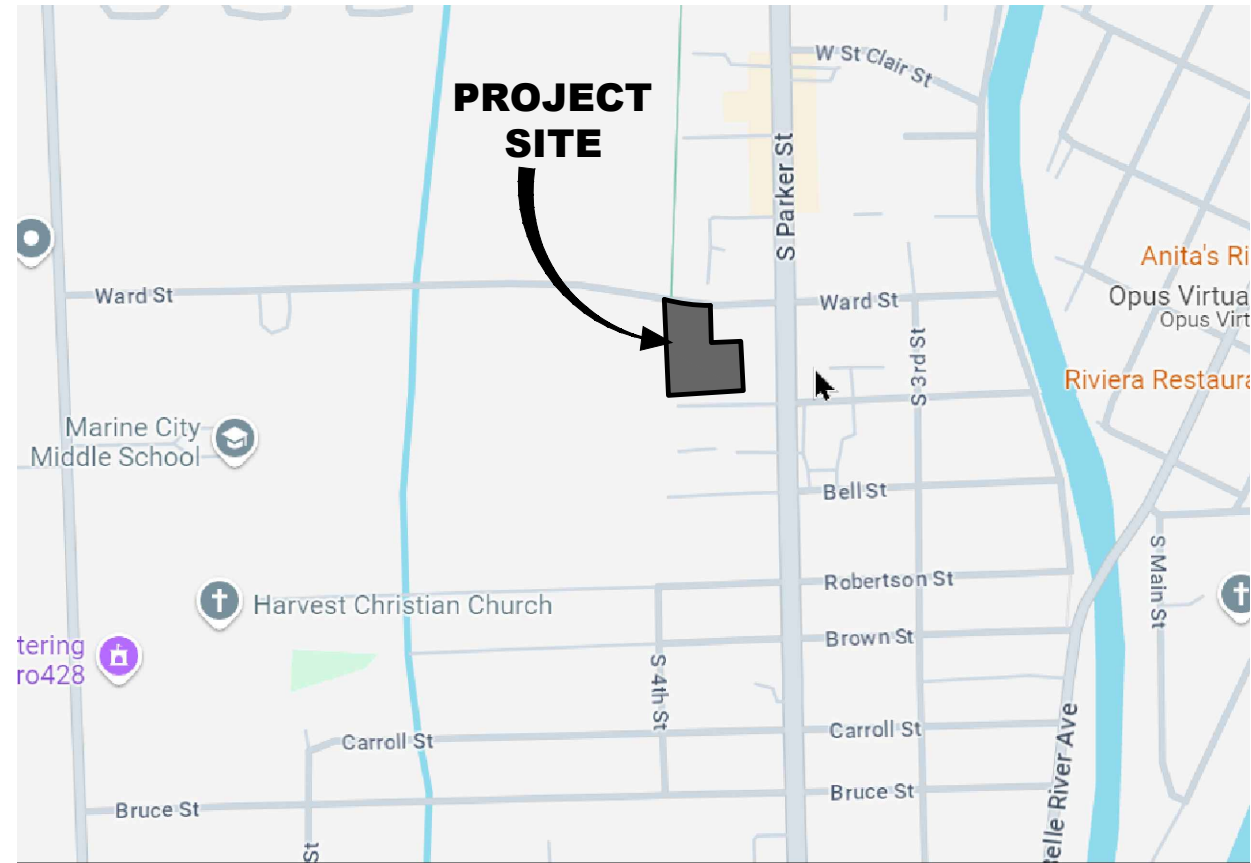


VIEW WITH POP UP FARMERS MARKET VENDOR TENTS



CITY OF MARINE CITY ST CLAIR COUNTY, MICHIGAN GUY COMMUNITY CENTER IMPROVEMENTS

JANUARY 24, 2025



PROPERTY DESCRIPTION

PARCEL NO. 74-02-300-0028-00
LOT 5 BLK 5 MAP OF COTTRELLS SUBDIVISION OF PART OF SECTION 1 AS RECORDED IN LIBER 8 OF PLATS PG 79 ST CLAIR COUNTY REGISTER OF DEEDS T3N-R16E.

PARCEL NO. 74-02-300-0026-000
LOT 1 & THAT PART OF LOT 2 BLK 5 LYING WITHIN 33' OF CL OF PH & D RR. MAP OF COTTRELLS SUBDIVISION OF PART OF SECTION 1 AS RECORDED IN LIBER 8 OF PLATS PG 79 ST CLAIR COUNTY REGISTER OF DEEDS

PARCEL NO. 74-02-300-0027-000
THAT PART OF LOT 2 SE OF PH & D RR R/W & LOTS 3,4,6,8 & 10 BLK 5 MAP OF COTTRELLS SUBDIVISION OF PART OF SECTION 1 AS RECORDED IN LIBER 8 OF PLATS PG 79 ST CLAIR COUNTY REGISTER OF DEEDS & N 1/2 OF VAC COTTRELL BLVD LYING E OF 4TH ST & W OF E LINE OF LOT 10, BLK 5 EXT'D SOUTH

THE ABOVE DESCRIPTION WAS TAKEN FROM THE ST. CLAIR COUNTY GIS TAX RECORDS.

INDEX OF DRAWINGS	
DESCRIPTION	SHEET NO.
COVER	C-001
TOPOGRAPHIC SURVEY	V-101
REMOVALS PLAN	C-101
SITE LAYOUT PLAN	C-102
GRADING AND UTILITY PLAN	C-103
DETAILS	C-501
DETAILS	C-502
LANDSCAPE PLAN	L-101
SPLASH PAD	L-102



LOCAL AGENCY / UTILITY CONTACTS

NAME	CONTACT PERSON	TELEPHONE NUM.	EMAIL ADDRESS
CITY OF MARINE CITY - CITY MANAGER	MICHAEL REAVES	810-765-0513	citymanager@citymarinecity.org
CITY OF MARINE CITY - DPW SUPERINTENDENT	AARON ATKINSON	810-765-9711	aatkinson@citymarinecity.org
CITY OF MARINE CITY - BUILDING OFFICIAL	TRACY KALLEK	810-765-9011	buildingdepartment@citymarinecity.org
DTE - ELECTRIC	NE PLANNING & DESIGN	810-364-0400	NEPD@cteenergy.com
SEMCO ENERGY - GAS	MICHAEL RAYMO	810-650-3776	Michael.raymo@semcoenergy.com
COMCAST CABLE TV	WARREN SETTY	855-962-8525	CENHRTML_UtilityLocateRequest@comcast.com
AT&T	JOLENE JOHNSTON	616-246-0014	jj2896@att.com

OWNER/APPLICANT
CITY OF MARINE CITY
260 S PARKER STREET
MARINE CITY, MI 48039
810-765-8846

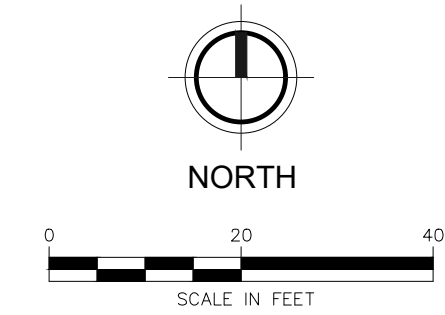
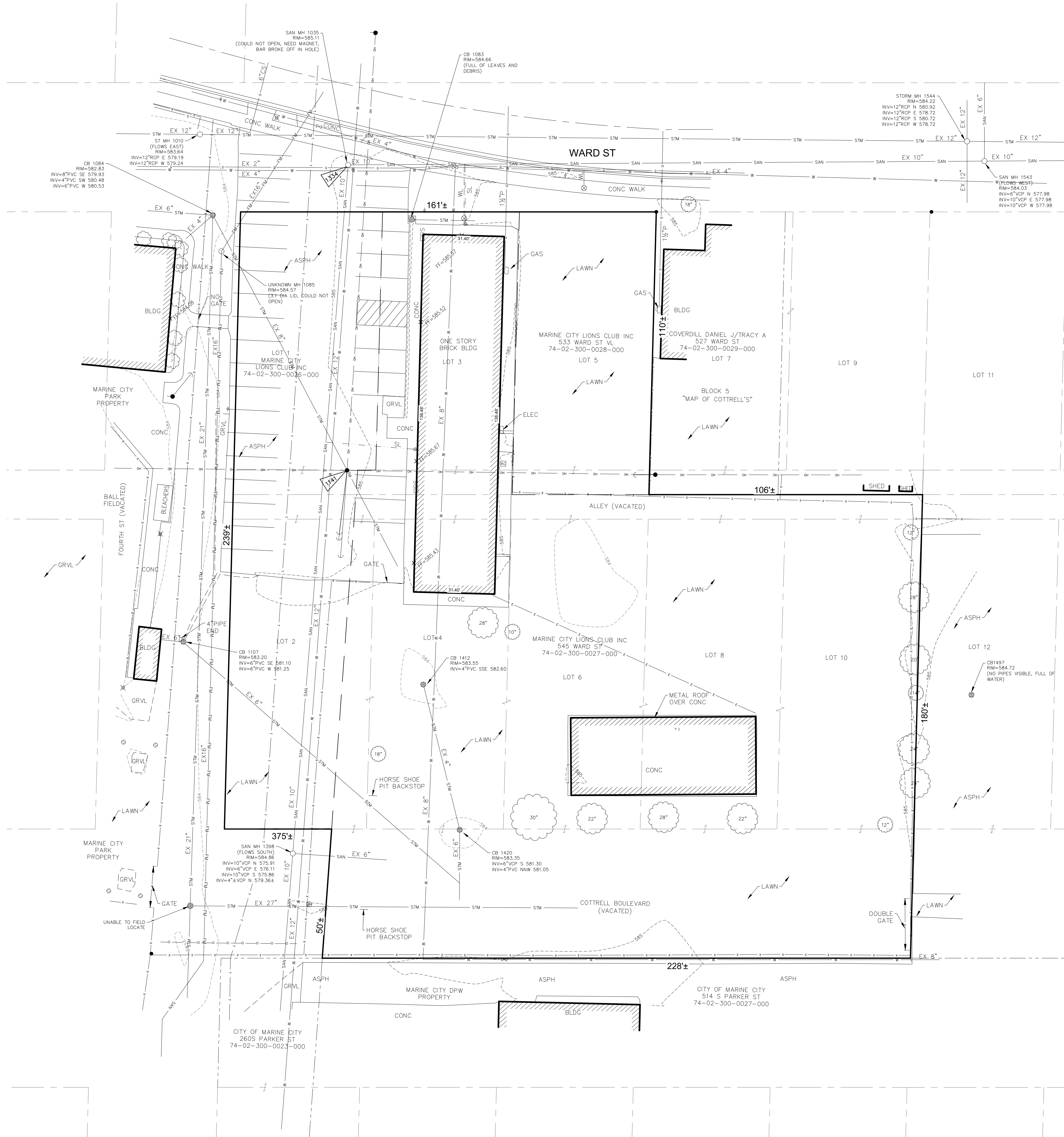


NOT FOR
CONSTRUCTION

JAN 24, 2025
F&V PROJECT NO.
870030

C-101

M:\V\9869001-871000\870020 Marine City - Guy Community Ctr 2025\Coa\Yms\870020_V-101_TPO.dwg - plotted on 1/22/2025 1:27 PM



BENCH MARKS

BM 1334 585.10
CUT 'X' IN NORTH RIM OF SANITARY MANHOLE,
SOUTH SIDE OF WARD STREET, 40'± NORTHWEST
OF NORTHWEST BUILDING CORNER
(NAVD 88)

BM 1141 585.69
MAG NAIL / TAG IN WEST FACE OF POWER POLE
IN SOUTH PARKING LOT AREA
(NAVD 88)

EXISTING FEATURES LEGEND

	TREE (DECIDUOUS)		CABLE RISER		SUBJECT PROPERTY LINE
	BUSH		GAS RISER		ADJACENT PROPERTY LINE
	TREE (CONIFEROUS)		GAS VALVE		PLAT LINE
	DEAD TREE		UTILITY METER		WATERMAIN
	STUMP		TELEPHONE RISER		WATER SERVICE LEAD
	MANHOLE		TELEPHONE HANDHOLE		SANITARY SEWER
	PUMP STATION MANHOLE		ELECTRICAL RISER		SANITARY SERVICE LEAD
	SANITARY CLEANOUT		ELECTRICAL MANHOLE		FORCE MAIN
	RD. CATCH BASIN		ELECTRICAL HANDHOLE		STORM SEWER
	SQ. CATCH BASIN		UTILITY POLE		CULVERT (21" AND UNDER)
	PIPE END		TELEPHONE POLE		CULVERT (24" AND UP)
	FIRE HYDRANT		LIGHT POLE		FIBER OPTIC
	WATER VALVE		YARD LIGHT		GUY POLE
	CURB STOP & BOX		GUY ANCHOR		GUY ANCHOR
	WELL		HAND HOLE		CABLE T.V.
	WATER MANHOLE		PED CROSSING SIGNAL		TELEPHONE
	WATER METER		RAILROAD SIGNAL		ELECTRIC
	MONITORING WELL		SIGN		OVERHEAD LINES
	FILL PORT		MAILBOX		GUARDRAIL
	ELECTRICAL OUTLET		GUARD POST		FENCE
	SOIL BORING		POST		WOODLINE
	FOUND CONC. MONUMENT		SPRINKLER VALVE		LANDSCAPE
	FOUND IRON ROD		SPRINKLER HEAD		WETLAND
	SET IRON ROD		FLAG POLE		EDGE OF WATER
	SURVEY CONTROL POINT		ROCK		
	SECTION CORNER		VENT		
	BENCHMARK		AC UNIT		
	UNDERGROUND UTILITY MARKER		ANTENNA		
			DOWN SPOT		

NOTE: ALL ITEMS LISTED ON THE LEGEND
MAY NOT BE PRESENT ON DRAWING.

SURVEY NOTES:

- THE LOCATION OF UTILITIES DEPICTED ON THIS DRAWING WERE DETERMINED FROM ON-SITE OBSERVATION AND FROM RECORDS PROVIDED BY OTHERS. SOME UTILITIES MAY NOT BE SHOWN, BUT ARE PRESENT. UTILITIES MAY NOT BE IN THE EXACT POSITION SHOWN. BEFORE CONSTRUCTION OR ANY SUBSURFACE WORK CONTACT MISS DIG AND EXERCISE CAUTION.
- FLEIS AND VANDENBRINK ENGINEERING, INC. HAS NOT REVIEWED THIS PROJECT FOR ENVIRONMENTAL CONCERNS, SOIL CONTENT, FLOOD ZONE OR WETLAND CONCERNS EXCEPT AS SHOWN.
- BEARINGS ARE BASED ON: MICHIGAN STATE PLANE, SOUTH ZONE - NAD 83
- THE VERTICAL DATUM USED FOR THIS PROJECT IS: NAVD 88
- ACCORDING TO FEMA, FLOOD INSURANCE RATE MAP, PANEL 26147C0508D, EFFECTIVE MAY 3, 2010, THE SUBJECT PROPERTY LIES WITHIN ZONE 'X', WHICH IS DESCRIBED AS AREAS OF MINIMAL FLOOD HAZARD.
- EXACT WIDTH OF STREETS, HIGHWAYS, ALLEYS AND EASEMENTS HAVE NOT BEEN ESTABLISHED AT THIS TIME, THE CLIENT MUST PROVIDE A TITLE POLICY FOR THE DETERMINATION OF THESE LOCATIONS.
- THE BOUNDARY LINE(S) DEPICTED ON THIS SURVEY WAS TAKEN FROM AVAILABLE RECORDS AND IS APPROXIMATE. FLEIS AND VANDENBRINK ENGINEERING, INC. HAS NOT COMPLETED A BOUNDARY SURVEY AT THIS TIME.
- THE CONTOURS DEPICTED ON THIS SURVEY WERE GENERATED FROM A TOPOGRAPHIC SURVEY COMPLETED BY FLEIS AND VANDENBRINK ENGINEERING, INC ON DECEMBER 19, 2025. CONTOUR INTERVAL = 1'
- ANY ELECTRONIC REPRODUCTION OF THIS SURVEY SHOWING A COPY OF THE SIGNATURE AND IMPRESSION OF A PROFESSIONAL SURVEYOR'S SEAL IS PROVIDED FOR COURTESY PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS THE ACTUAL SURVEY DOCUMENT. FLEIS & VANDENBRINK ENGINEERING, INC. IS NOT RESPONSIBLE FOR ANY UNAUTHORIZED USE, MISUSE OR COPY OF THIS DOCUMENT. THE ORIGINAL OF THIS DOCUMENT SHOWS THE RAISED STAMP AND HAS BEEN SIGNED USING BLUE INK.

REVISION:

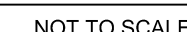
DESIGN TEAM:	PROJ MGR:	LME
	DESIGNED BY:	DPH
	DRAWN BY:	CHE
	CHECK BY:	

DRAWING INFORMATION:
870030_V-101 TOPO
012525 Issue

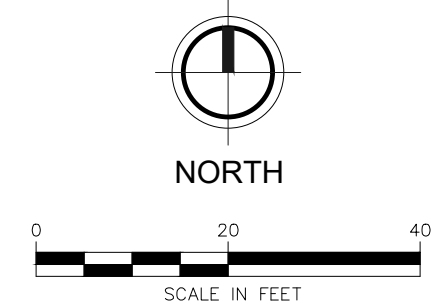
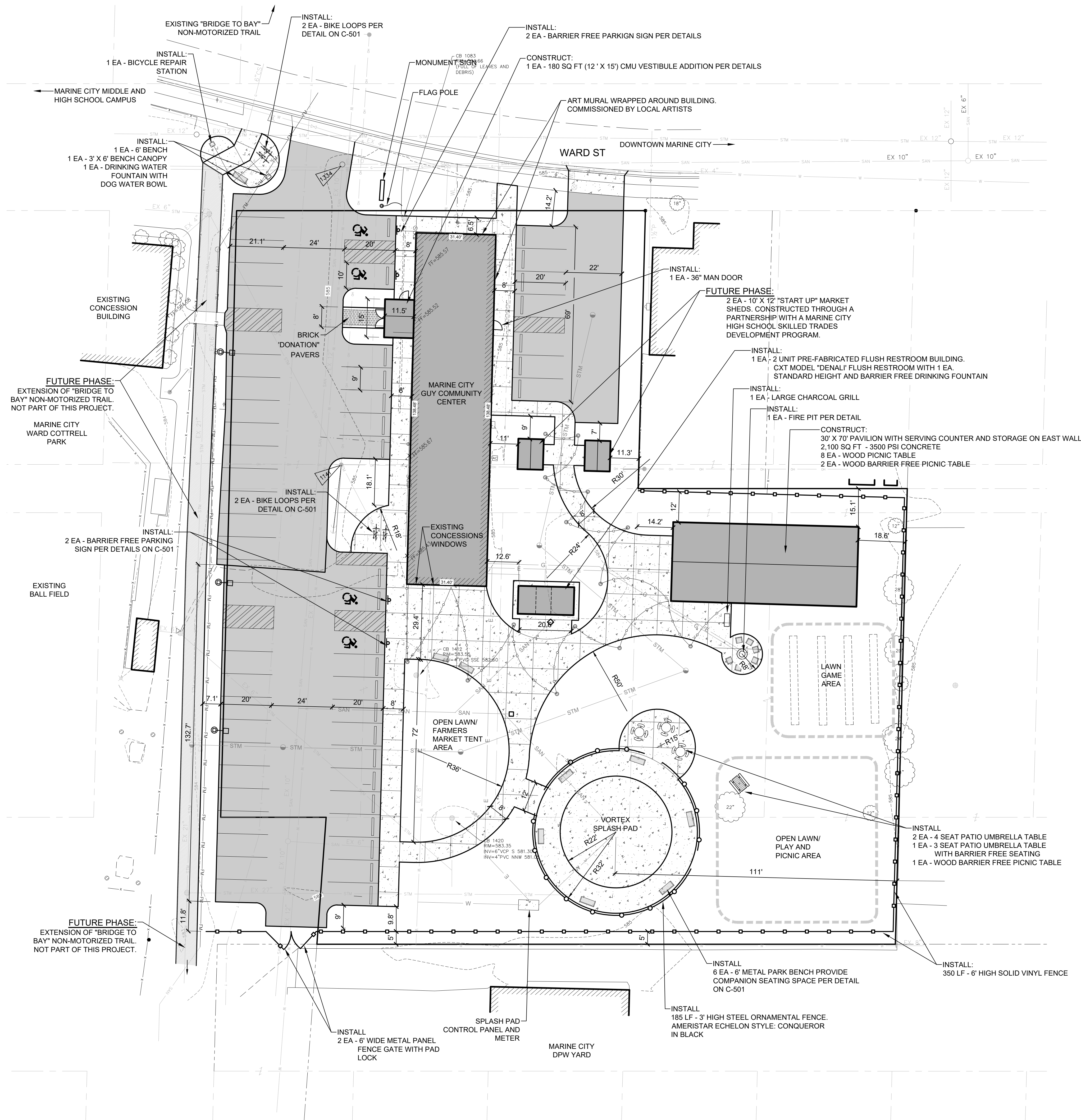
**NOT FOR
CONSTRUCTION**

JAN 24, 2025

F&V PROJECT NO.
870030



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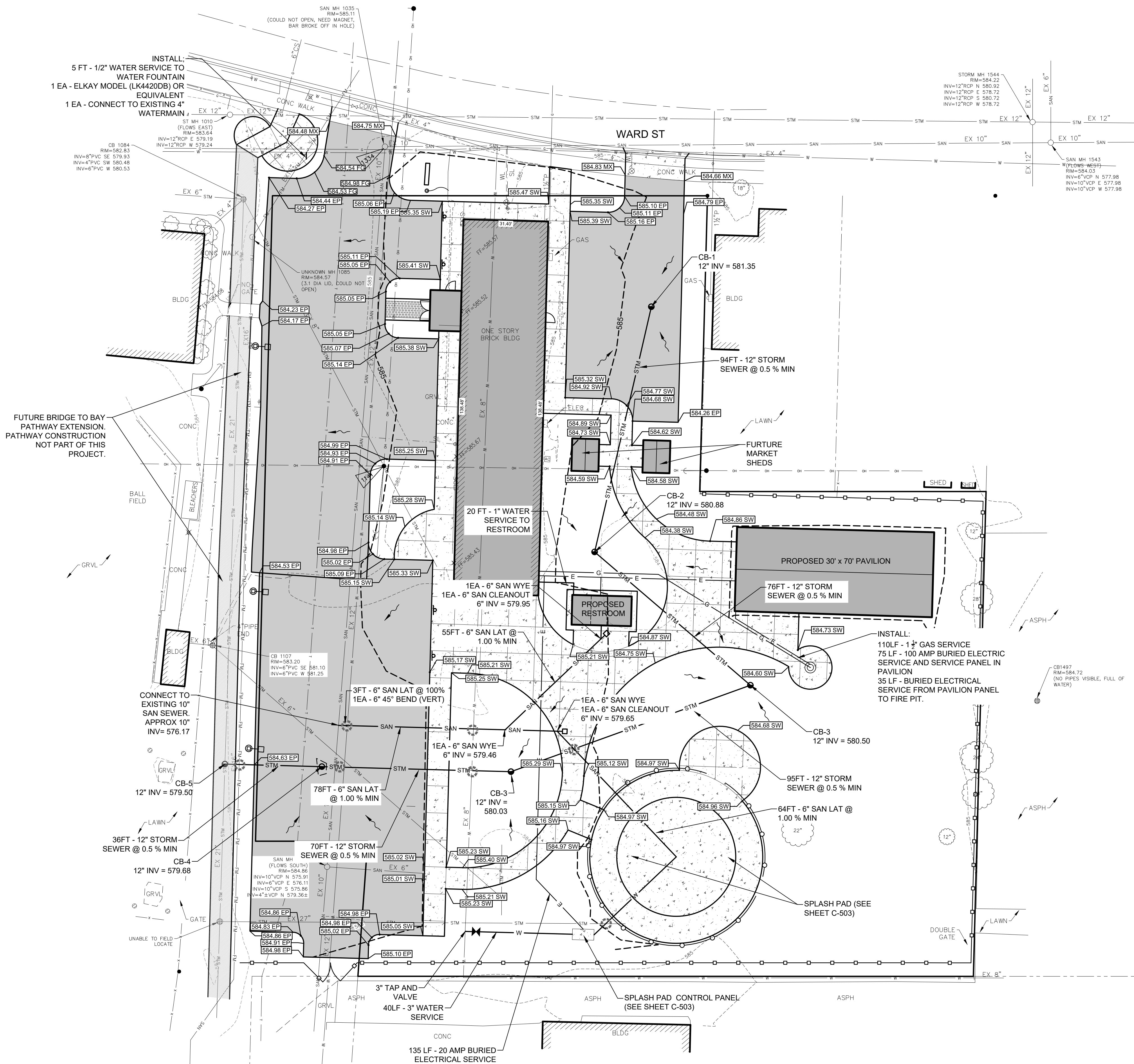
PROPOSED SYMBOLS LEGEND

	NEW ASPHALT PAVEMENT
	MILL AND RESURFACE ASPHALT
	CONCRETE SIDEWALK/PAVEMENT
	BARRIER FREE PAVEMENT MARKINGS
	BARRIER FREE SIGNAGE
	SANITARY CLEANOUT
	SANITARY SERVICE
	WATER SERVICE
	WATER VALVE
	STORM SEWER
	STORM SEWER CATCHBASIN
	FESTOON LIGHTING
	LIGHT POLE
	6' VINYL FENCE
	3' DECORATIVE PICKET FENCE

1. GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL SITE RELATED PERMITS. CONTRACTOR IS REQUIRED TO COMPLETE THE APPLICATION, AND SUBMIT NECESSARY DRAWINGS, FEES, ETC. TO THE APPROPRIATE JURISDICTION. CONTRACTOR SHALL PAY ALL FEES RELATED TO PERMIT(S) AND SECURE PERMIT(S) IN HIS NAME. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING WATER, SANITARY SEWER, AND STORM SEWER CROSSINGS AND CONNECTION POINTS PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SITE UTILITY CONNECTIONS AND INSPECTIONS WITH THE PROPER JURISDICTION AND PAY ALL ASSOCIATED FEES.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION, THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.

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PROPOSED SYMBOLS LEGEND

- 878.65 EP
- 878.65 SW
- 878.65 MX
- 878.65 FG
- 878.65 RM
- NEW ASPHALT PAVEMENT
- MILL AND RESURFACE ASPHALT
- CONCRETE SIDEWALK/PAVEMENT
- SURFACE FLOW ARROWS
- BARRIER FREE SIGNAGE
- SANITARY CLEANOUT
- SAN
- W
- WATER VALVE
- STM
- STORM SEWER CATCHBASIN
- FESTOON LIGHTING
- LIGHT POLE
- UTILITY CROSSING

GENERAL UTILITY NOTES:

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY ENGINEER.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED FROM SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE ENGINEER FOLLOWING COMPLETION OF WORK.

GENERAL PRIVATE UTILITY NOTES:

- PROPOSED PRIVATE UTILITY SERVICE AS SHOWN IS SCHEMATIC ONLY. ACTUAL LOCATION TO BE COORDINATED WITH INDIVIDUAL UTILITY COMPANY AND APPROVED BY OWNER.
- CONTRACTOR SHALL COORDINATE LOCATION OF ALL PRIVATE UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) WITH THE LOCAL UTILITY COMPANIES AND THE MECHANICAL DRAWINGS. COORDINATE ALL PRIVATE UTILITY LOCATIONS WITH ALL SUB-SURFACE SITE UTILITIES SHOWN ON THIS PLAN.

GENERAL SANITARY SEWER NOTES:

- SITE CONTRACTOR TO END SANITARY LATERAL 5' FROM BUILDINGS WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.
- SANITARY SEWER LATERALS AND FITTINGS SHALL BE PVC PER ASTM D3034, SDR-35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.
- MATERIALS, INSTALLATION, AND TESTING OF SANITARY SEWER SHALL CONFORM TO LOCAL STANDARDS.

GENERAL STORM SEWER NOTES:

- SITE CONTRACTOR TO END STORM CONNECTION 5' FROM BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.
- STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE PER AASHTO M294 TYPE S. JOINTS SHALL BE SOIL TIGHT IN ACCORDANCE WITH ASTM F477.
- ROOF DRAIN PIPE OR PIPE INDICATED TO BE PVC SHALL MEET THE REQUIREMENTS OF ASTM D3034, SDR-35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.
- PERFORATED STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE PER AASHTO M294 TYPE SP, AND SHALL BE PERFORATED AND PRE-WRAPPED WITH A 3.5 OZ/SY GEOTEXTILE FILTER SOCK. JOINTS SHALL BE SOIL TIGHT. PAVEMENT SUBGRADE TO BE GRADED TO SLOPE TOWARDS THE PROPOSED PERFORATED PIPE TRENCHES THROUGHOUT THE SITE.
- UNDERDRAIN SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE TYPE S, PER AASHTO M292 AND PRE-WRAPPED WITH A GEOTEXTILE FILTER SOCK. PAVEMENT SUBGRADE TO BE GRADED TO SLOPE TOWARDS THE PROPOSED UNDERDRAIN TRENCHES THROUGHOUT THE SITE.
- MATERIALS, INSTALLATION, AND TESTING OF THE STORM SEWER SYSTEM SHALL CONFORM TO LOCAL STANDARDS.

GRADING NOTES:

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - 4.1. CONCRETE CURBS & GUTTER: 0.50%
 - 4.2. ASPHALT GUTTER: 0.80%
 - 4.3. CONCRETE SURFACES: 1.00%
 - 4.4. ASPHALT SURFACES: 1.25%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY ENGINEER IF THIS CONDITION CANNOT BE MET.

ADA NOTES:

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE AND/OR FEDERAL GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL, WHERE PROVIDED. CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- CURB RAMPS WITHIN PUBLIC RIGHT-OF-WAY OR AS OTHERWISE SHOWN ON THE DRAWINGS SHALL INCLUDE DETECTIBLE WARNINGS IN ACCORDANCE WITH SECTION 705 OF DOJ 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

FLEISCHMANN

DESIGN, BUILD, OPERATE

9475 Holly Rd, Suite 201
Grand Blanc, MI 48439
P: 810.743.9120
F: 810.771.7860

REVISION:

GUY COMMUNITY CENTER IMPROVEMENTS
CITY OF MARINE CITY
545 WARD ST., MARINE CITY, MI 48039, ST. CLAIR COUNTY
GRADING AND UTILITY PLAN

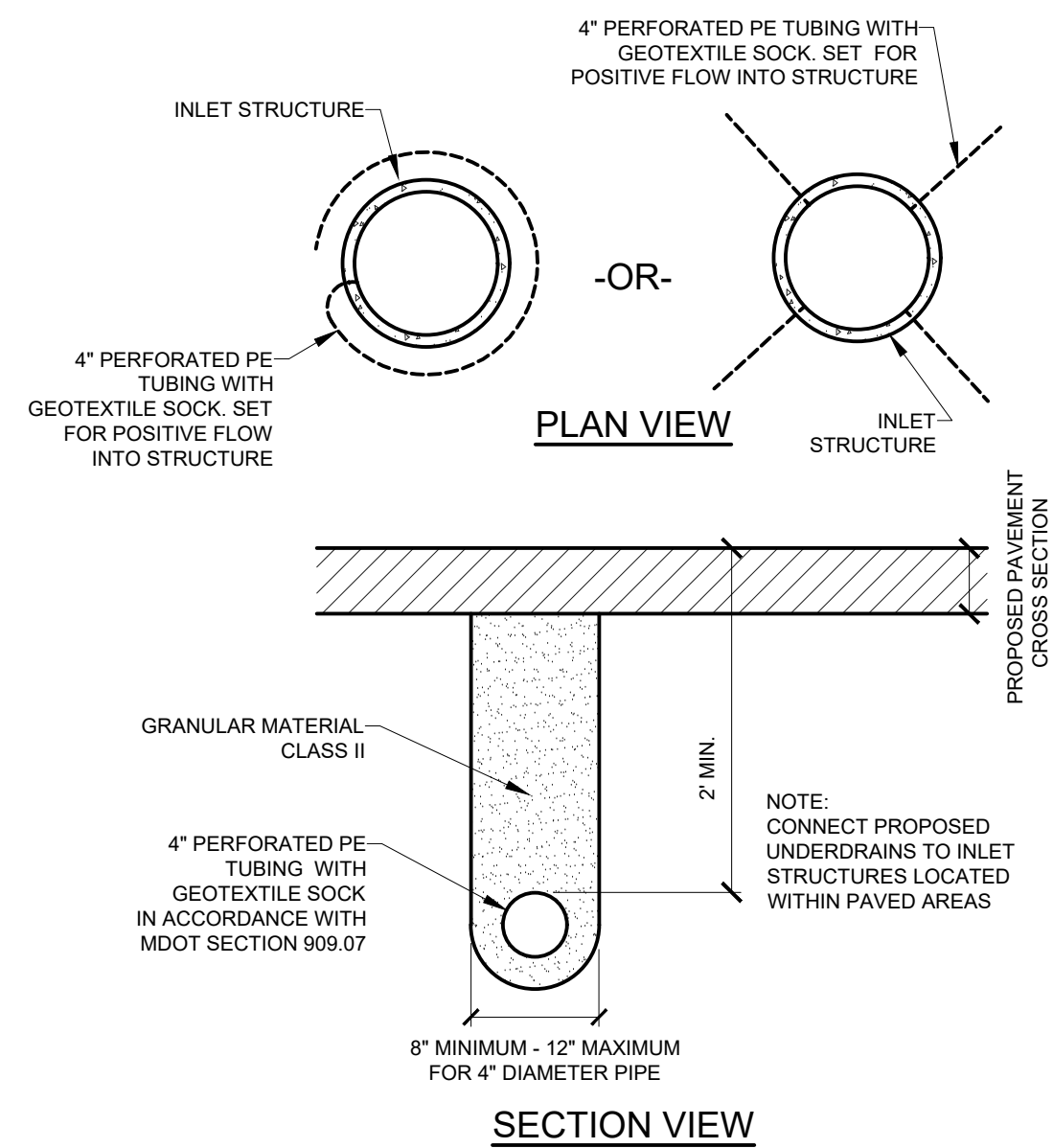
DESIGN TEAM: PROJ MGR: LME
DRAWN BY: MHD
CHECK BY:

DRAWING INFORMATION:
870030_C-103 GRAD UTIL
012525 lisao

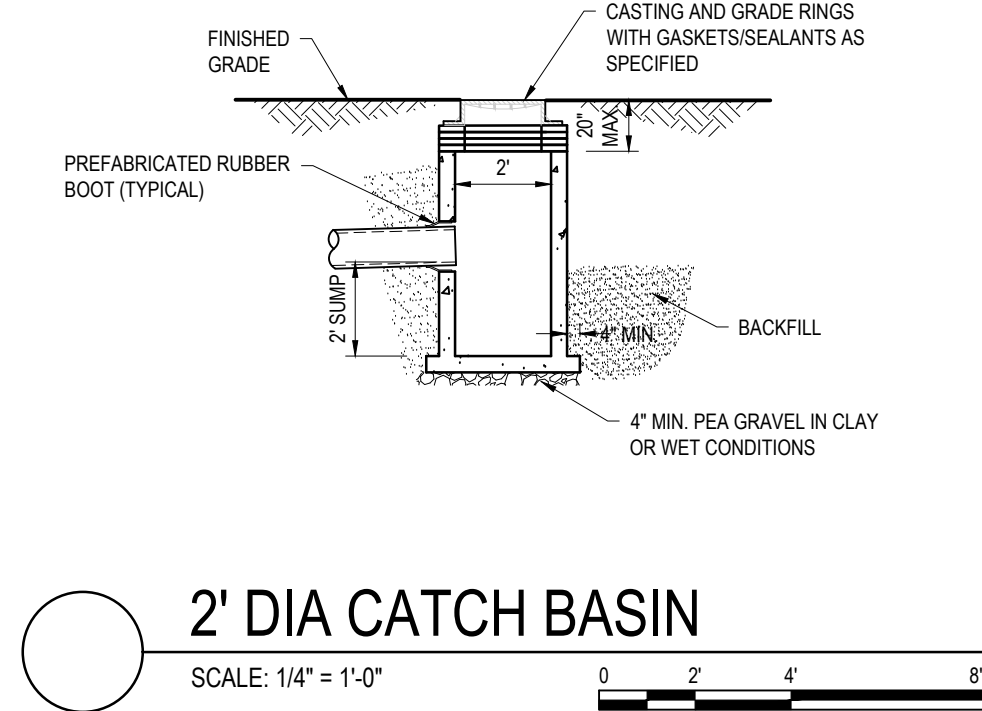
NOT FOR CONSTRUCTION

JAN 24, 2025
F&V PROJECT NO:
870030

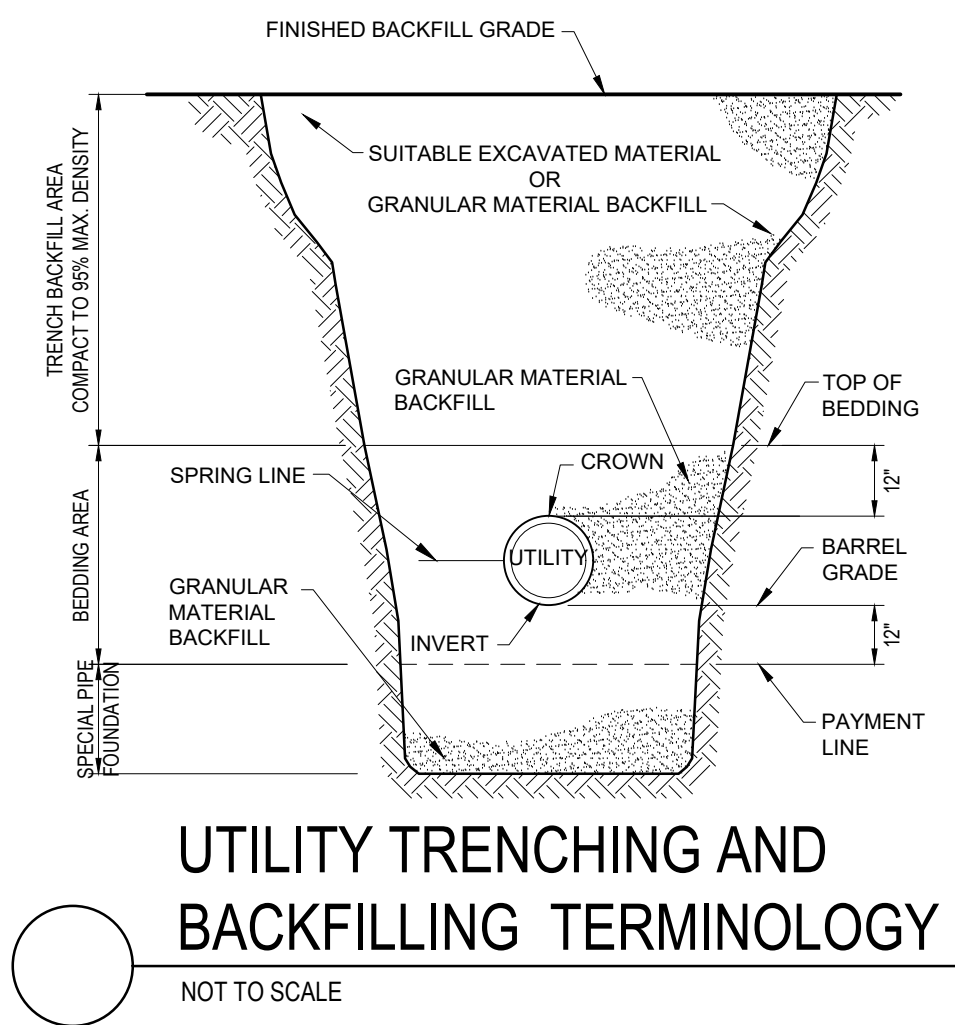
C-103



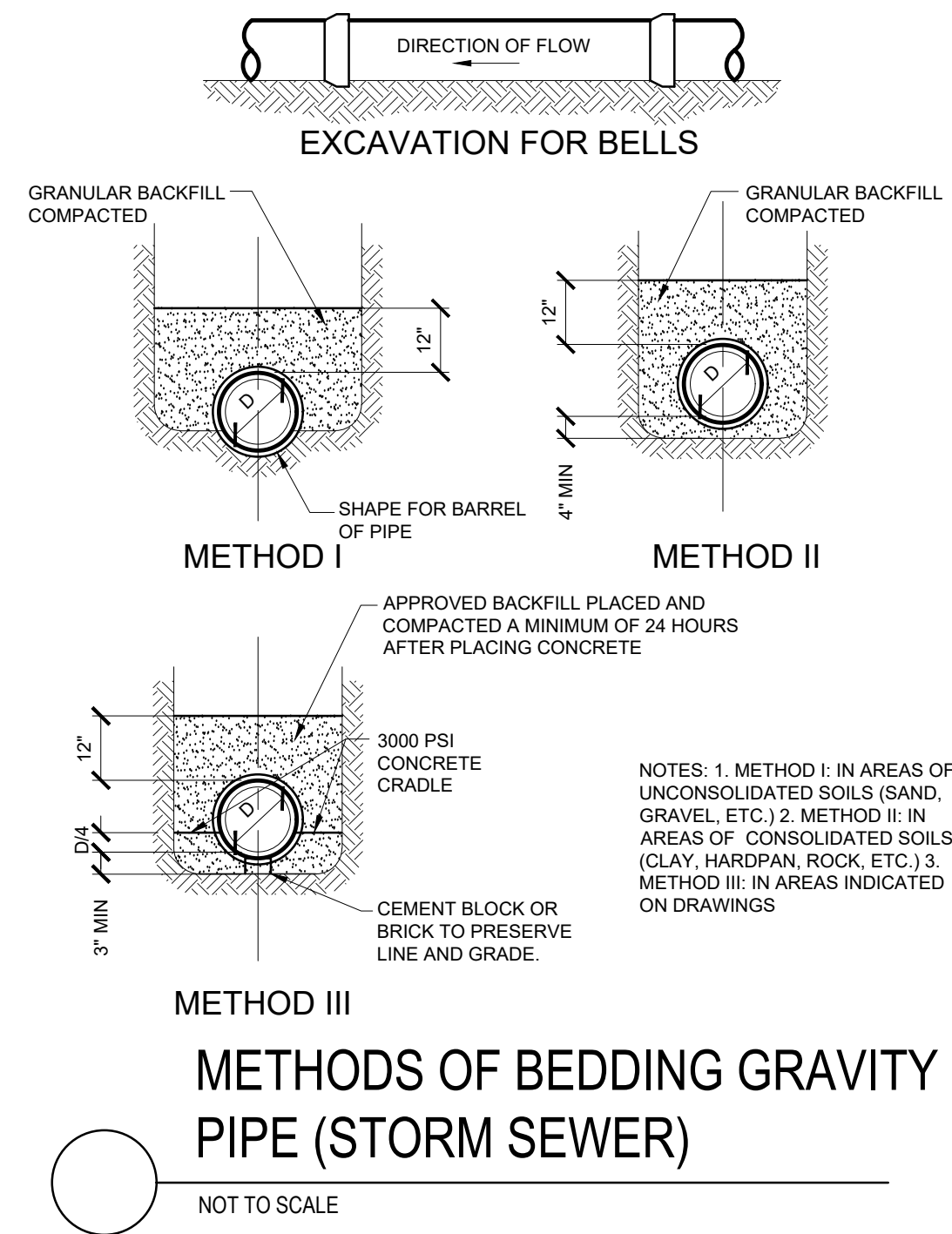
SUBGRADE UNDERDRAIN DETAIL
NOT TO SCALE



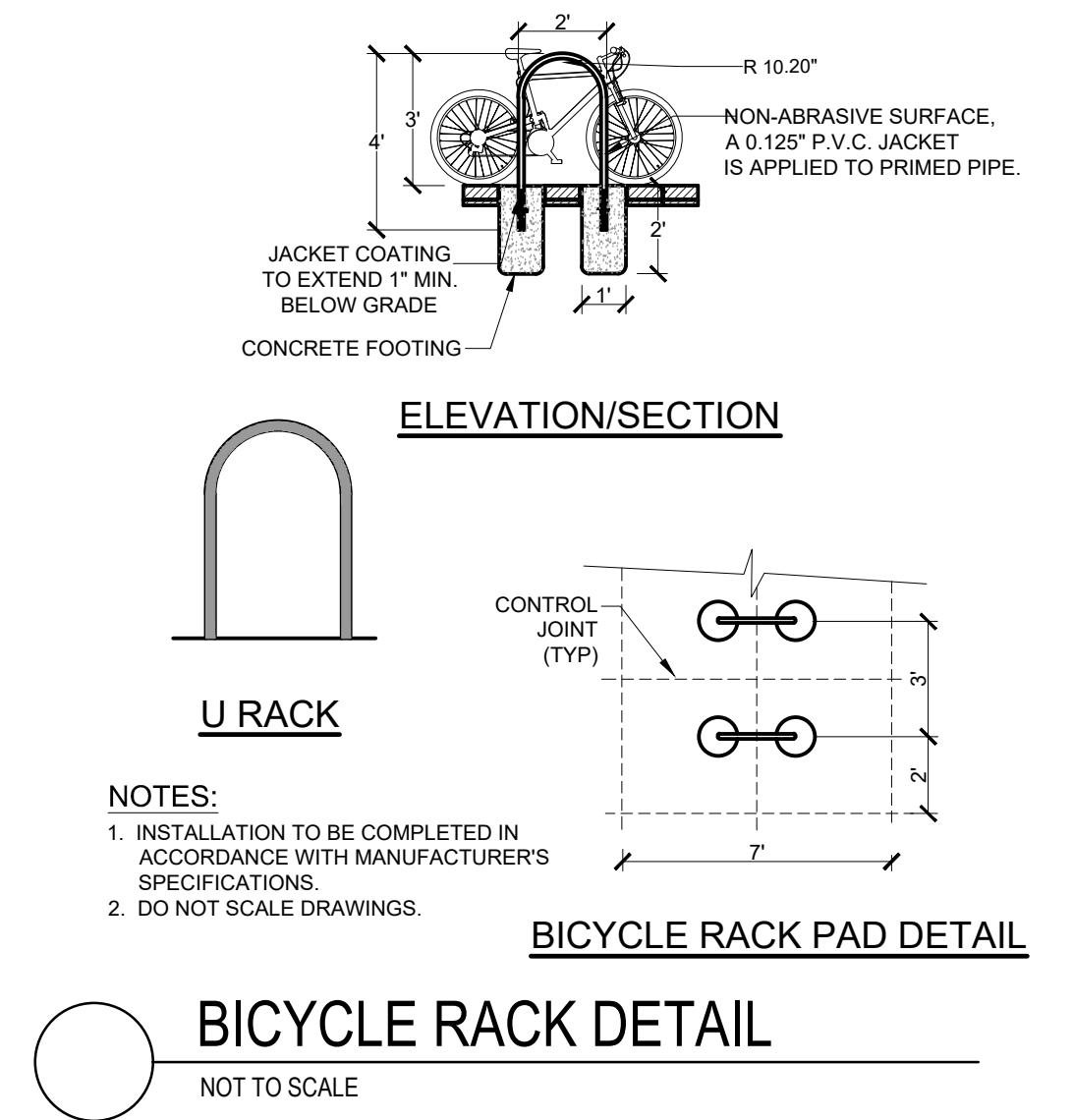
2' DIA CATCH BASIN
SCALE: 1/4" = 1'-0"



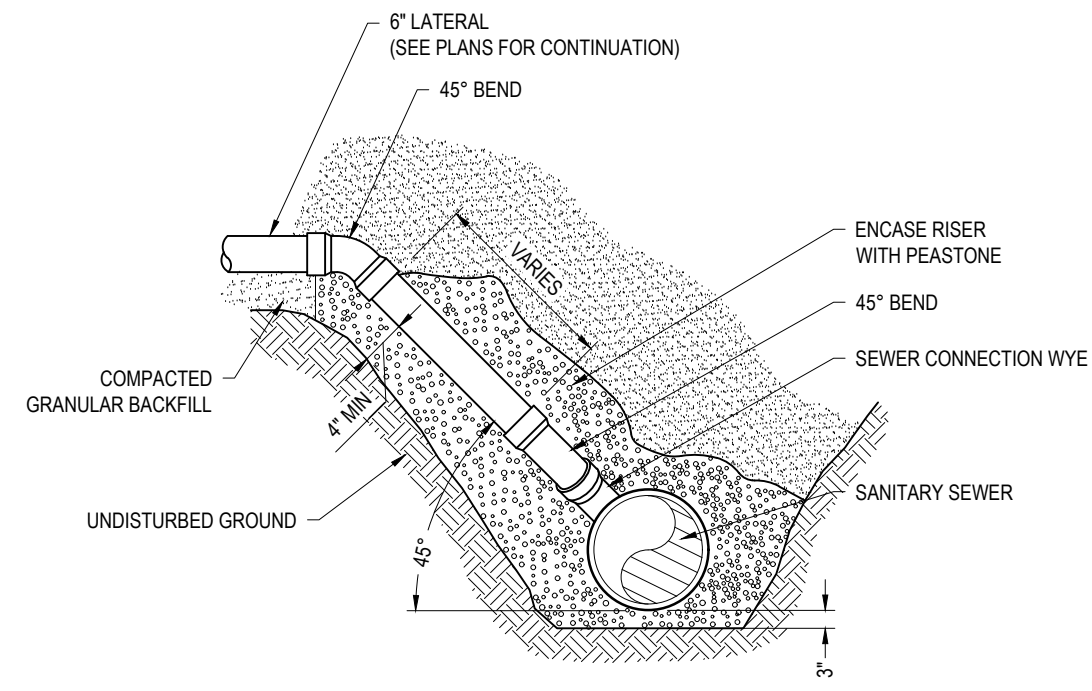
UTILITY TRENCHING AND BACKFILLING TERMINOLOGY
NOT TO SCALE



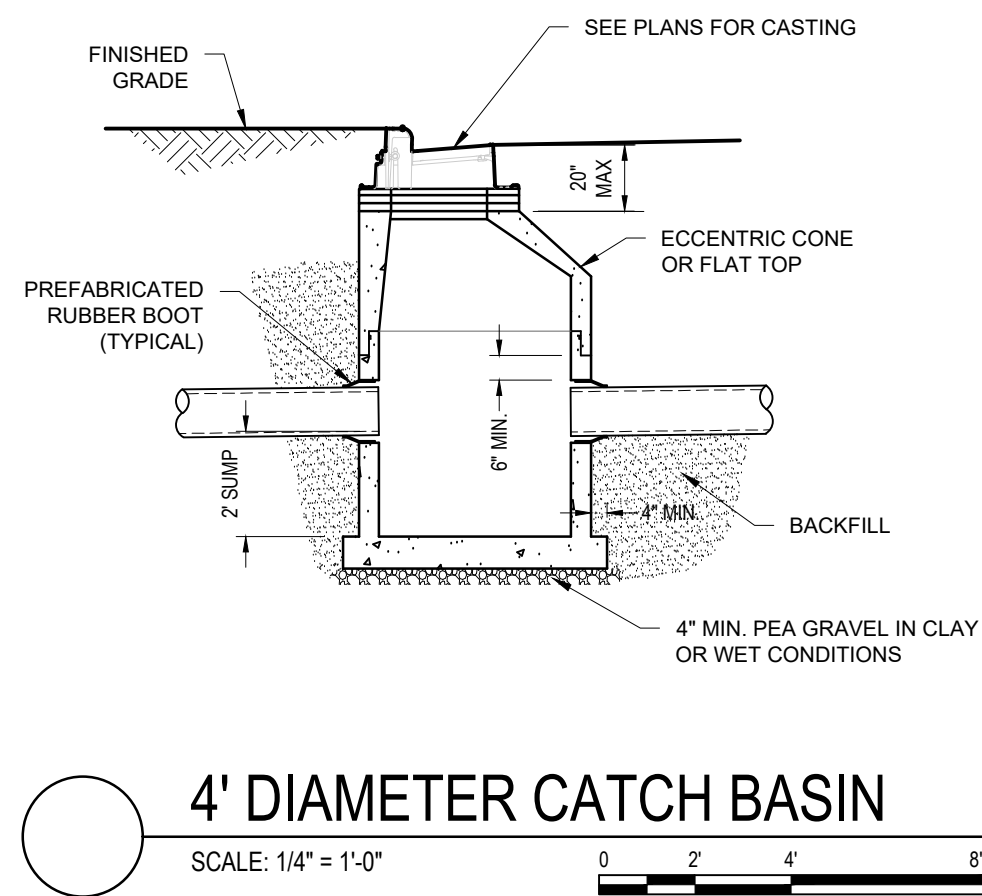
METHODS OF BEDDING GRAVITY PIPE (STORM SEWER)
NOT TO SCALE



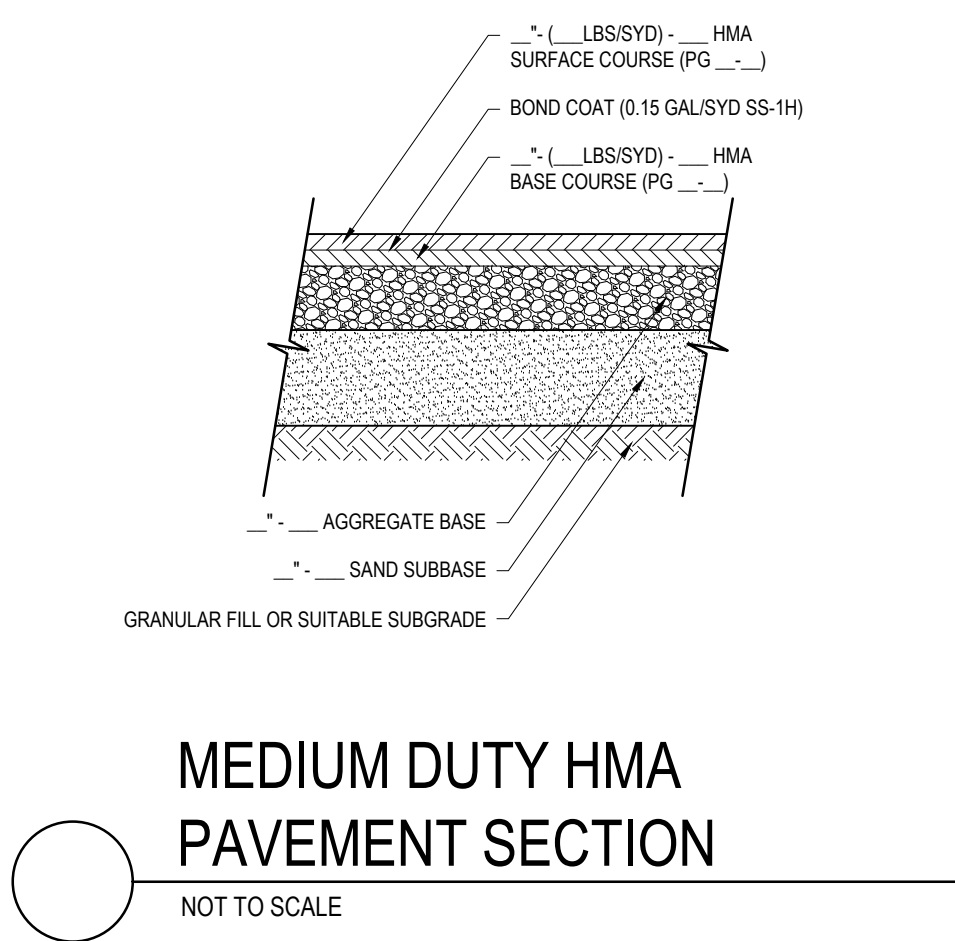
BICYCLE RACK DETAIL
NOT TO SCALE



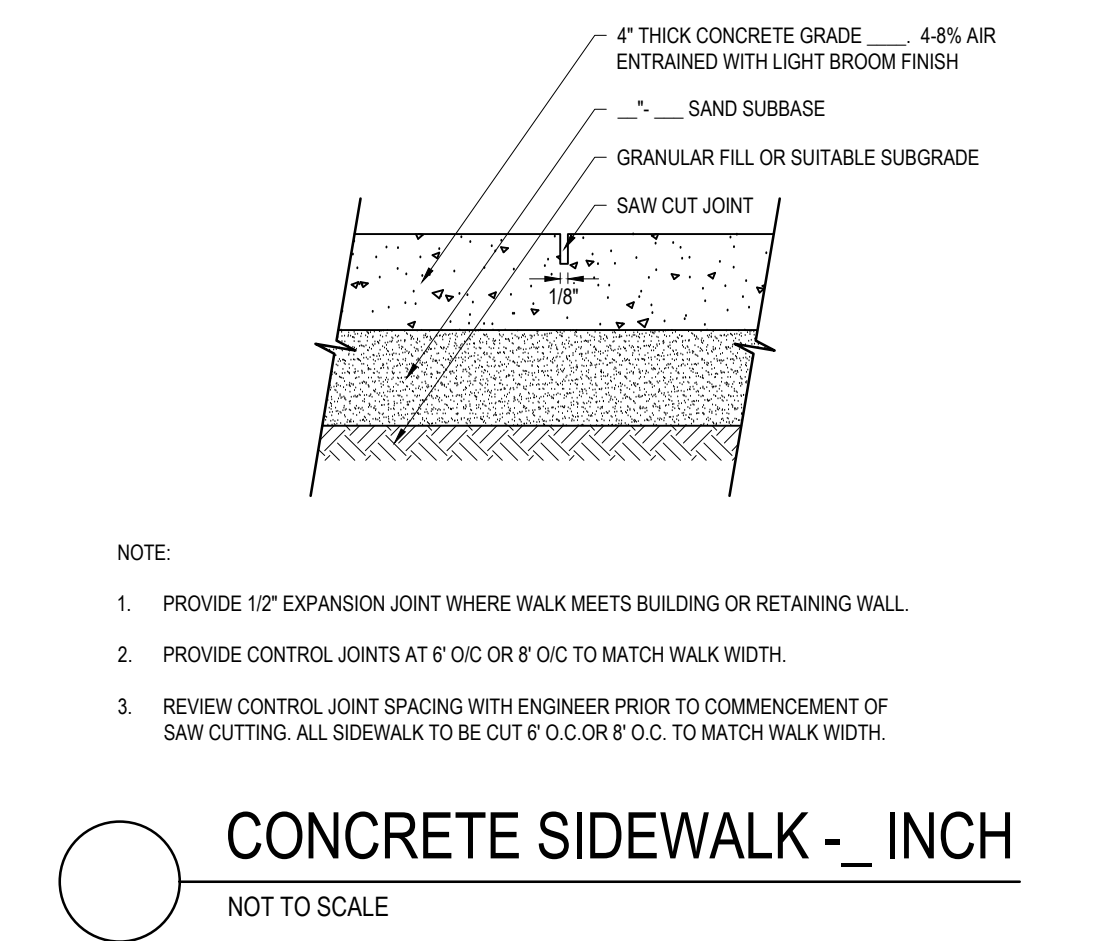
SANITARY RISER
NOT TO SCALE



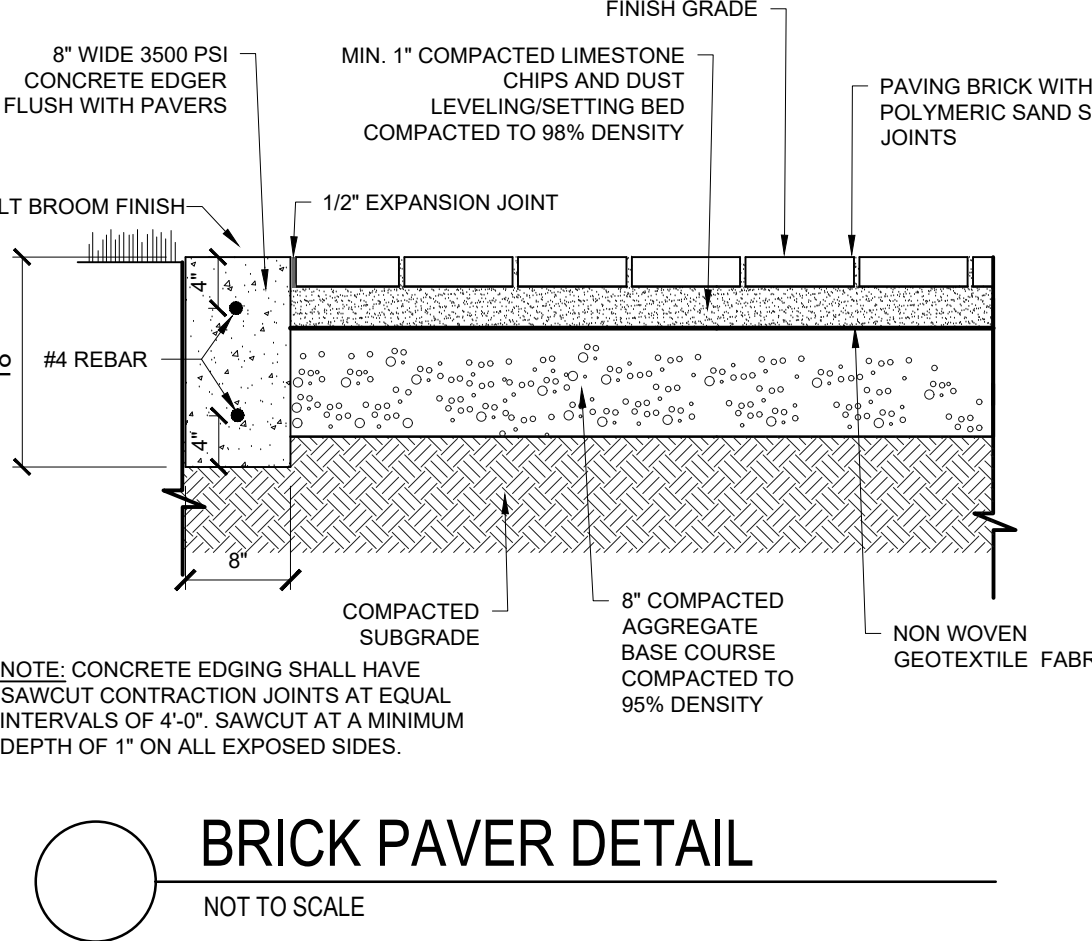
4' DIAMETER CATCH BASIN
SCALE: 1/4" = 1'-0"



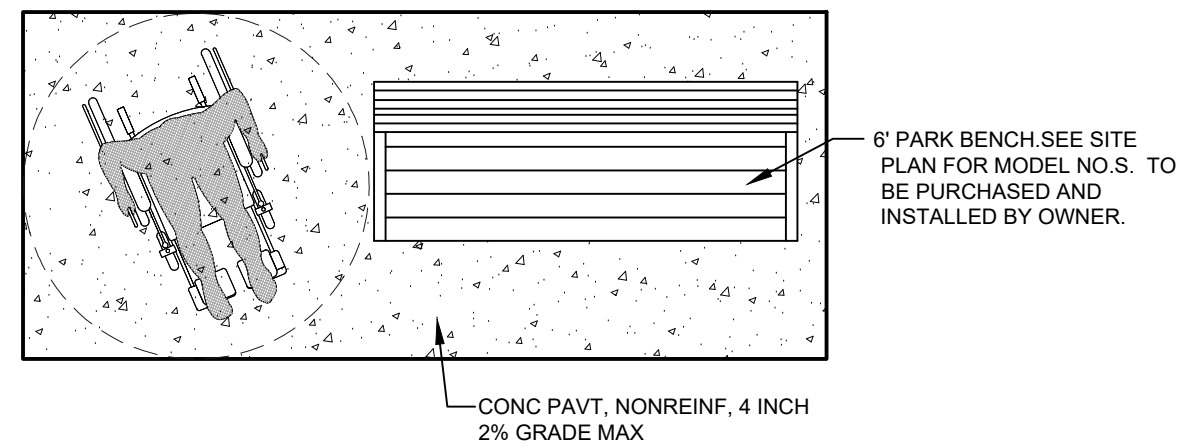
MEDIUM DUTY HMA PAVEMENT SECTION
NOT TO SCALE



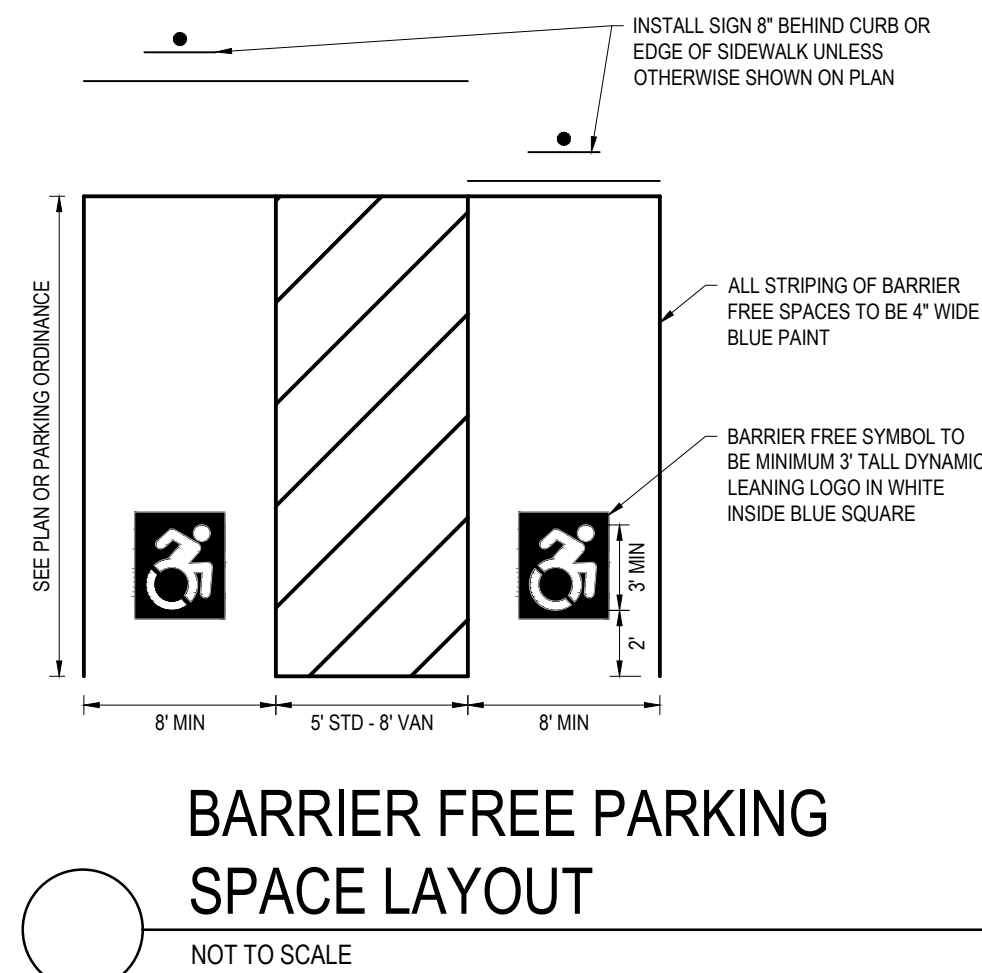
CONCRETE SIDEWALK - 1/2 INCH
NOT TO SCALE



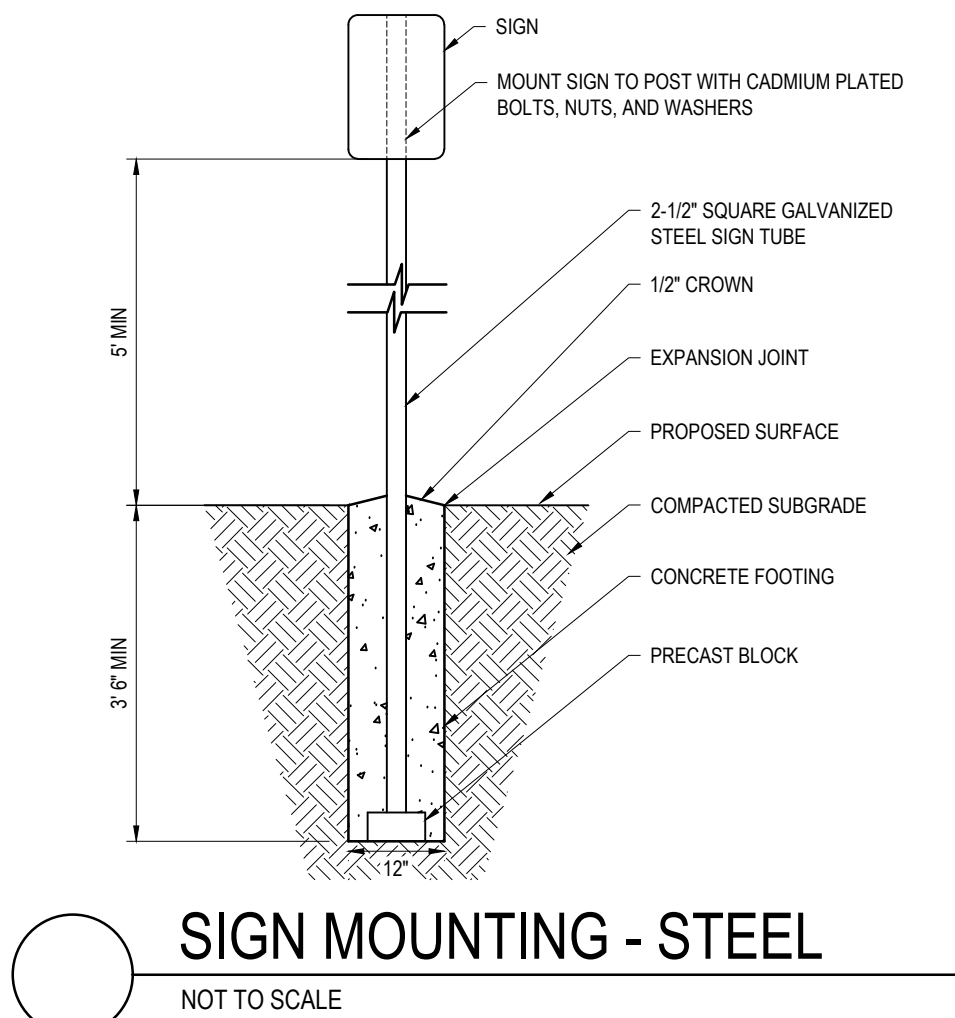
BRICK PAVER DETAIL
NOT TO SCALE



ADA BENCH AND CONCRETE SURFACE DETAIL
NOT TO SCALE



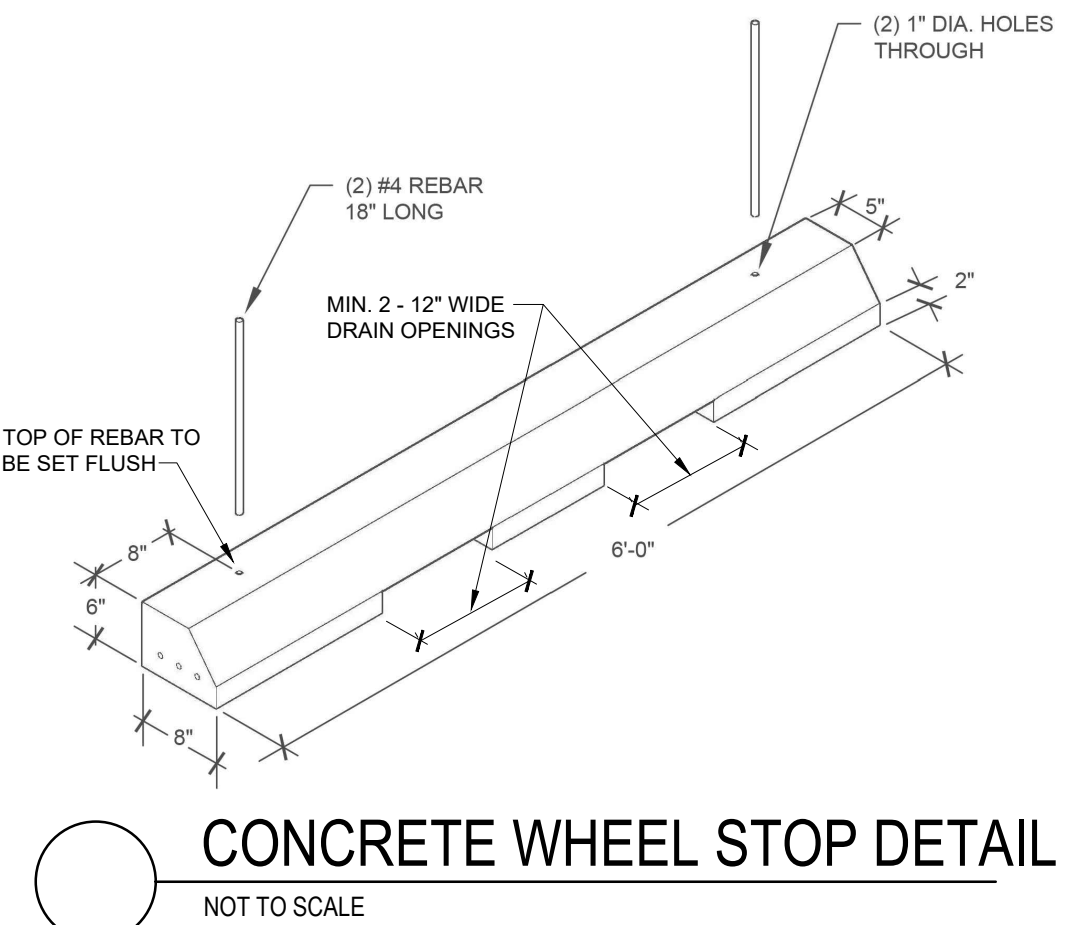
BARRIER FREE PARKING SPACE LAYOUT
NOT TO SCALE



SIGN MOUNTING - STEEL
NOT TO SCALE



BARRIER FREE SIGNS
NOT TO SCALE



CONCRETE WHEEL STOP DETAIL
NOT TO SCALE

1. 72" ROUND FIREPIT WITH A 48" DROP IN PAN, CROSSFIRE BURNER (350,000 BTU) MATCH LIGHT KEY VALVE FPKV TAPER, ELECTRICAL TIMER / SWITCH
2. EPK-2M-AD-110 V60; T POWERED ELECTRONIC, NON STANDING PILOT SYSTEM, 1/2" GAS LINE FIREPIT, INCLUDING ADAPTER PLUG & MOUNTING BRACKET, 36" LEAD
3. #695 HPC 12 HR. TIMER
4. #311 ESTOP-3HPC
5. LAVA GRANULES - 10 LB X 4
6. CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO FIREPLACE CONTROLS AND PROVIDE CONTROLS AND 20 AMP BREAKER IN SERVICE PANEL. CONTRACTOR TO VERIFY ELECTRICAL REQUIREMENTS WITH MANUFACTURER.

1. FIREPIT KIT COMPLETE KIT WITH BURNER ASSEMBLY IS AVAILABLE THRU:

BELDEN BRICK & SUPPLY
ATTN: ROB LOUGHLIN
C: 616.893.4703
O: 616.459.8367 x 105
rloughlin@beldenbrickandsupply.com

SUBMIT SHOP DRAWING FOR APPROVAL

2. CUSTOM METAL BLACK POWDER COATED FIREPIT
COVER SHALL BE PROVIDED BY:
EA CRAFTWORKS
ATTN: MARK SCHENTZEL
C: 616.780.5211
O: 616.326.1757
mark@ea-craftworks.com

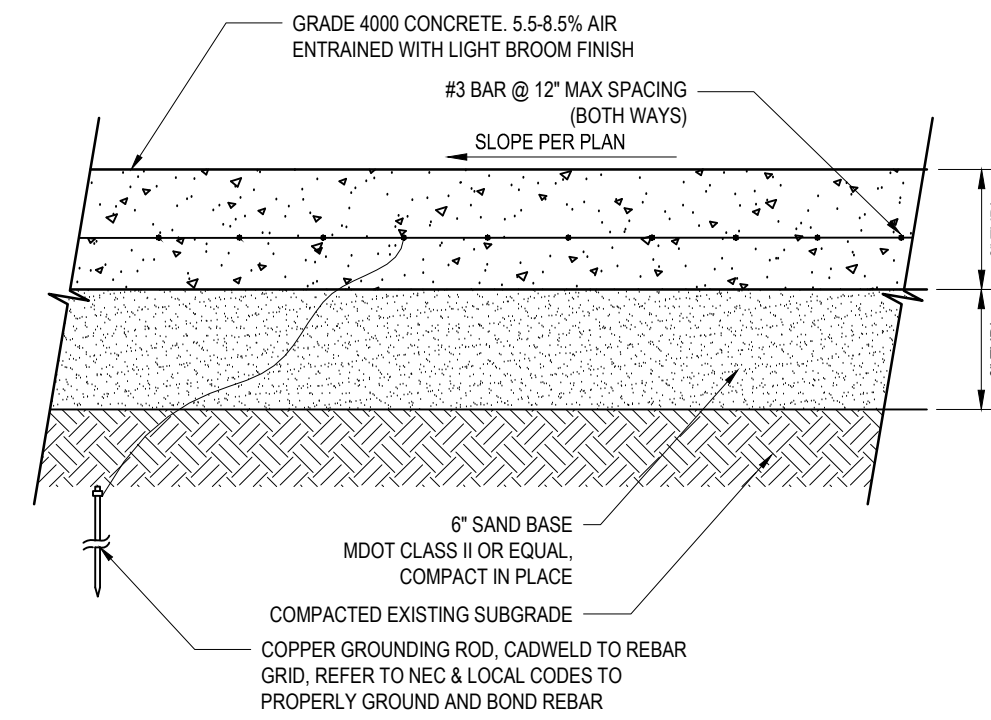
SUBMIT SHOP DRAWING FOR APPROVAL

Technical drawing of a fireplace assembly showing a cross-section with various components and dimensions. The drawing includes a decorative glass firepit dish, a crossfire burner, a match light key valve, and a concrete footing. Dimensions are provided for various parts, including the overall width (48 inches), the burner width (72 inches), and the footing width (3 feet 6 inches).

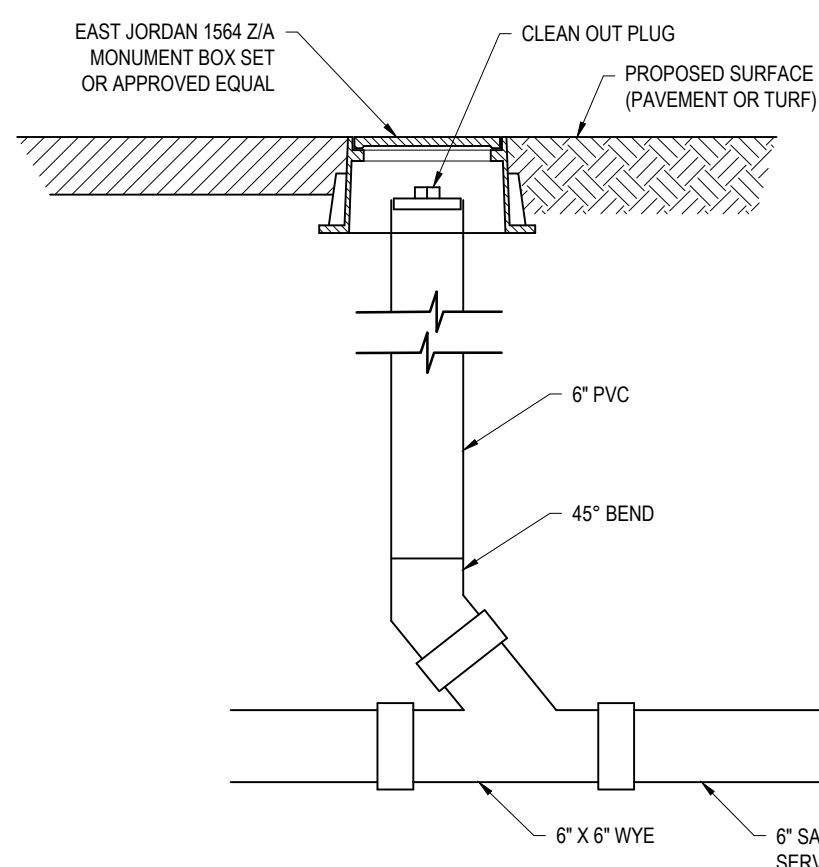
Labels and dimensions include:

- 48"
- 72"
- 3'
- 16"
- 3'-6"
- 1'
- 48"
- 3'-6"
- #3 TIES @ 12"
- ELECTRICAL AND GAS SERVICE - REFER TO ELECTRICAL PLAN AND SPECIFICATIONS.
- 3'-6" CONCRETE FOOTING
- MATCH LIGHT KEY VALVE FPKV VENT (2) (DFLKV34-U)
- 48" DROP IN PAN (ALPAN48C)
- CROSSFIRE BURNER, 350,000 BTU (CFB350)
- CUSTOM BLACK POWDER COATED FIREPIT COVER WITH CUSTOM METAL DESIGN
- DECORATIVE GLASS IN FIREPIT DISH - COLOR TO BE SELECTED BY OWNER
- 6" SAND BASE
- 12" AGGREGATE BASE
- TH BURNER ASSEMBLY IS
- PROVAL
- ER COATED FIREPIT
- PROVAL

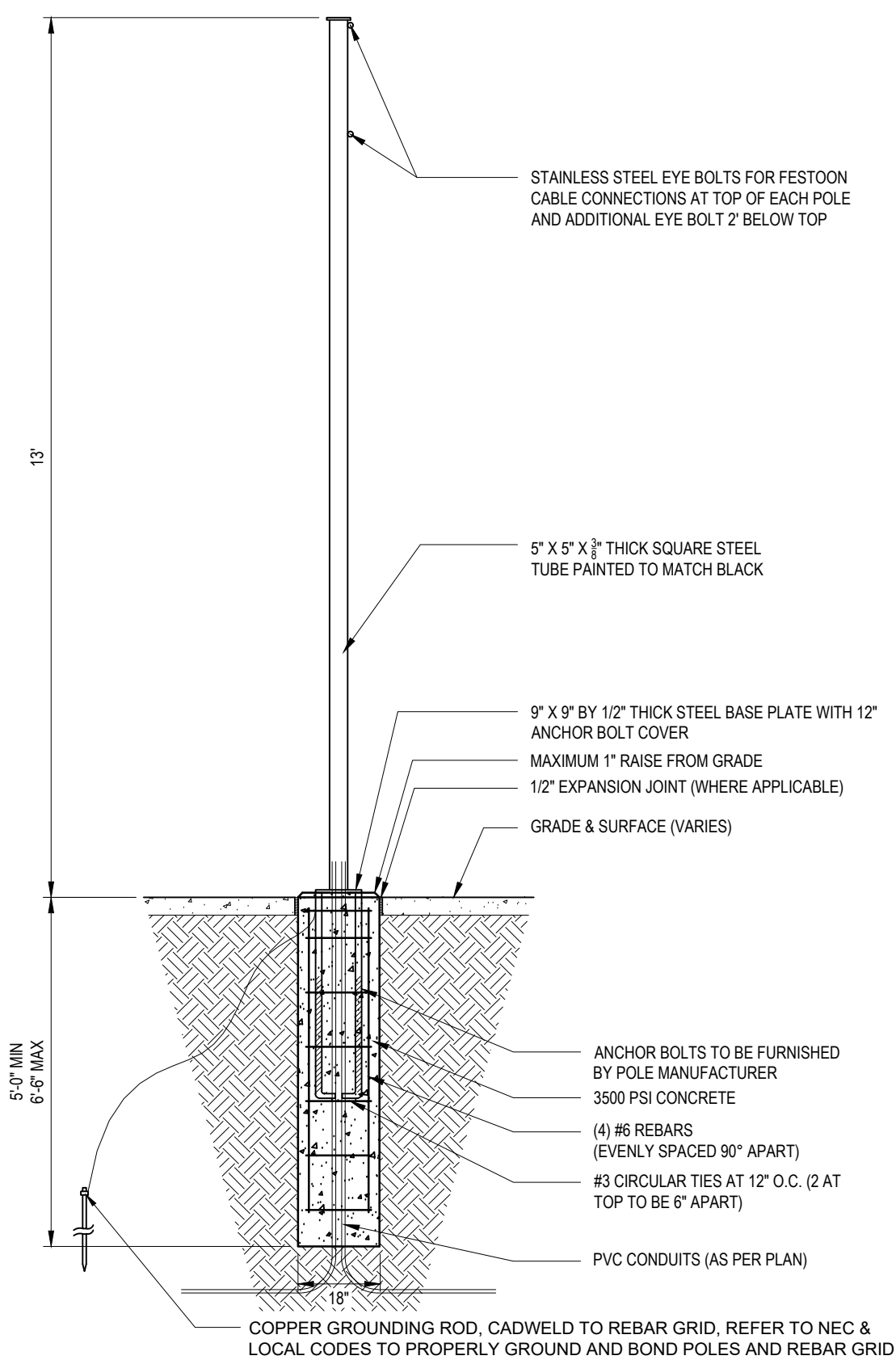
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

MS-13

EXTERIOR LED LIGHT (TYP 2 PLCS)

OPTIONAL SKYLIGHT

ANCHOR NAIL 1/4 x 3/4
PREDRILL 1/4"
(TYP 20 PLCS)

SIGN (SI-2) BROWN
(SYMBOL AS REQUIRED)

SPRING HINGE 4.5x4.5
(TYP 6 PLCS)

3068 GALV. DB LVR DOOR ASSEMBLY

3068 DOOR W/VENT

3068 DOOR W/VENT

13'-0"

3'-2 5/8"

2'-9"

5"

8'-7"

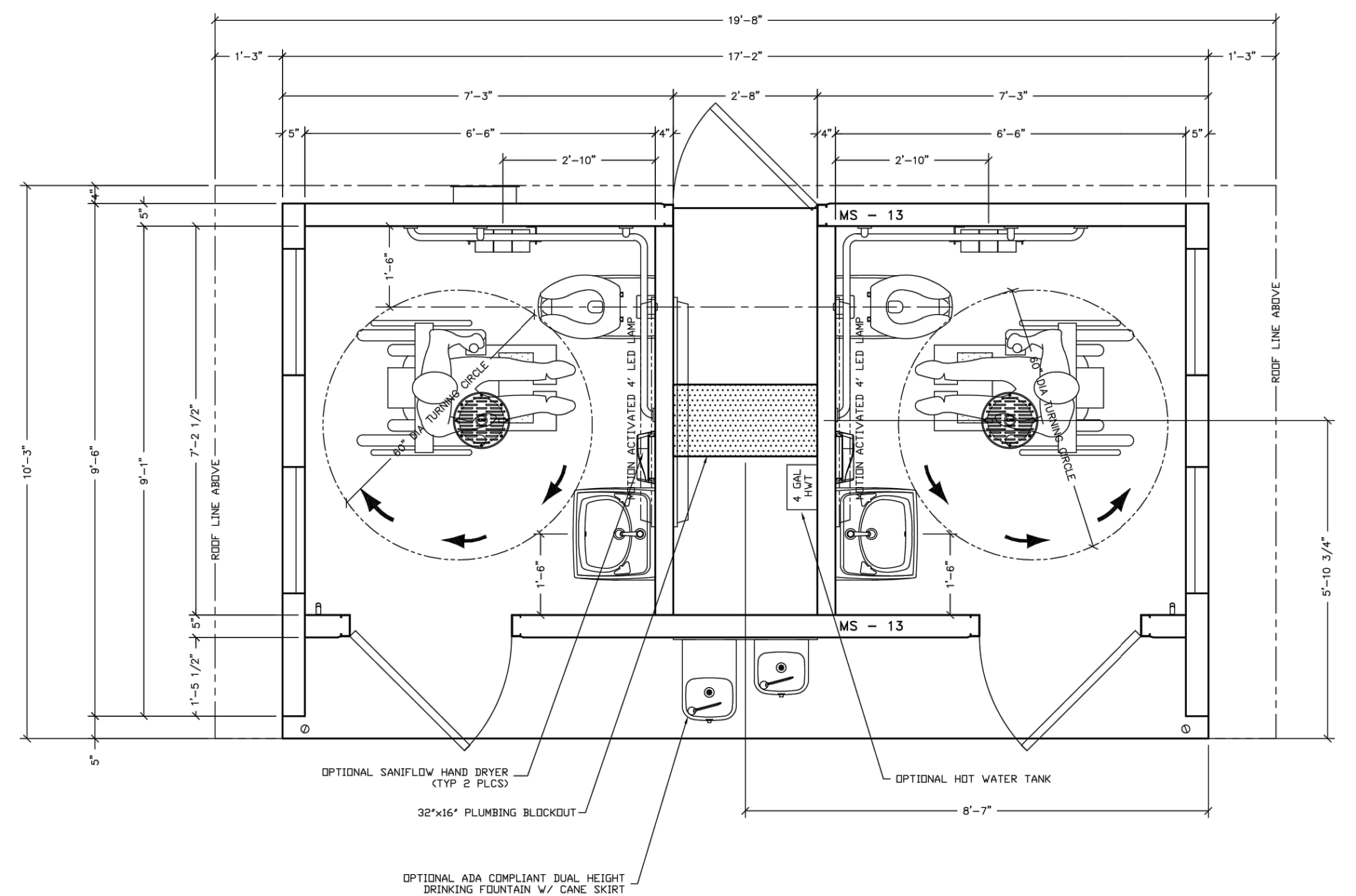
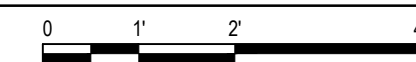
17'-2"

1'-3"

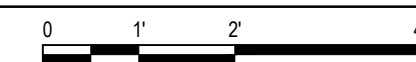
1'-3"

COMPLIANT DUAL HEIGHT MOUNTAIN W/ CANE SKIRT

SCALE: 1/2" = 1'-0"



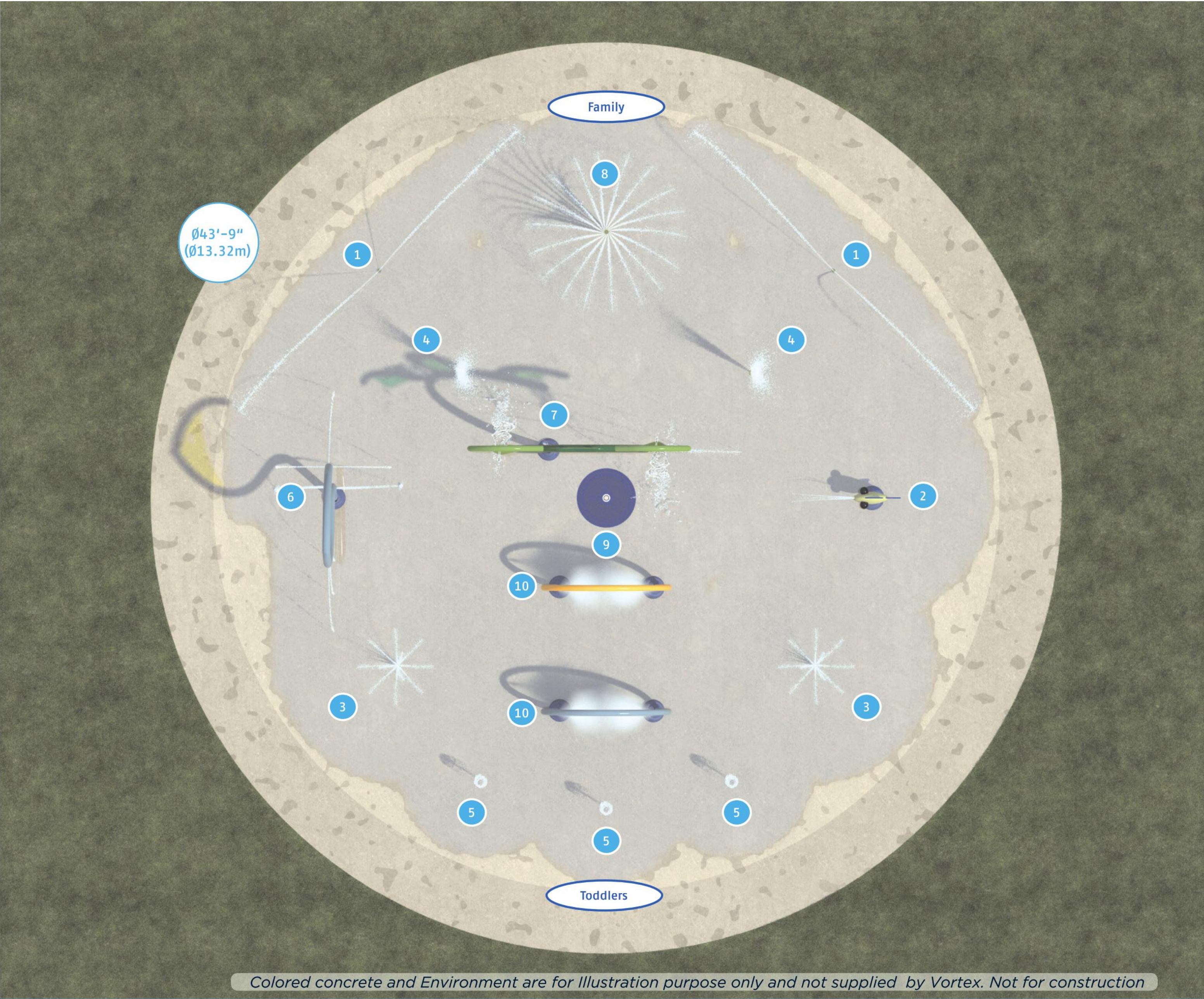
SCALE: 1/2" = 1'-0"



SPLASHPAD® COMPONENTS

Total area:	1500ft ²	(139m ²)
Spray area:	1116ft ²	(104m ²)

REF	PRODUCT	QTY	GPM	LPM
1	Directional Jet N°2 VOR 0321	2	3	11.4
2	Fish N°1 VOR 7218	1	4	15.1
3	Fountain Spray N°1 VOR 7513	2	10	37.9
4	Fountain Spray N°2 VOR 7676	2	6	22.7
5	Jet Stream No.2 VOR 0325	3	12	45.4
6	Sea Silhouette Fish VOR 7687	1	14	53
7	Sea Silhouette Turtle VOR 7689	1	8	30.3
8	Side Winder VOR 7518	1	6.5	24.6
9	Smartpoint N°X Foot VOR-1910	1	0	0
10	Spray Loop VOR 0519	2	15	56.8
TOTAL WATER FLOW		QTY	GPM	LPM
		16	78.5	297.2



Colored concrete and Environment are for Illustration purpose only and not supplied by Vortex. Not for construction



Sample 3- 30985

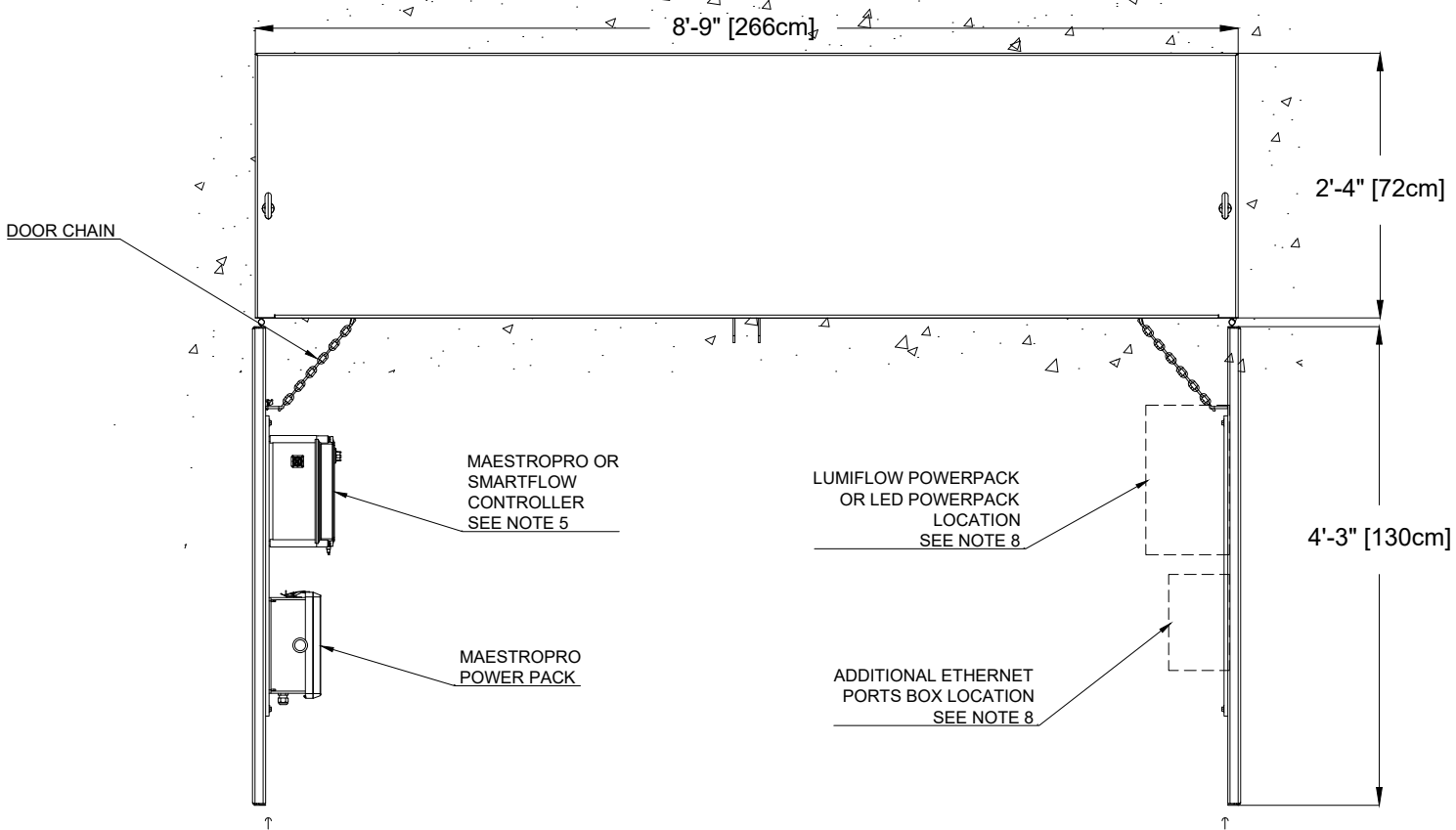


VORTEX AQUATIC STRUCTURES INTERNATIONAL INC. VORTEX-INTL.COM1.877.586.7839 ©2012VORTEXINTERNATIONAL,ALLRIGHTSRESERVED

-PAGE 6-

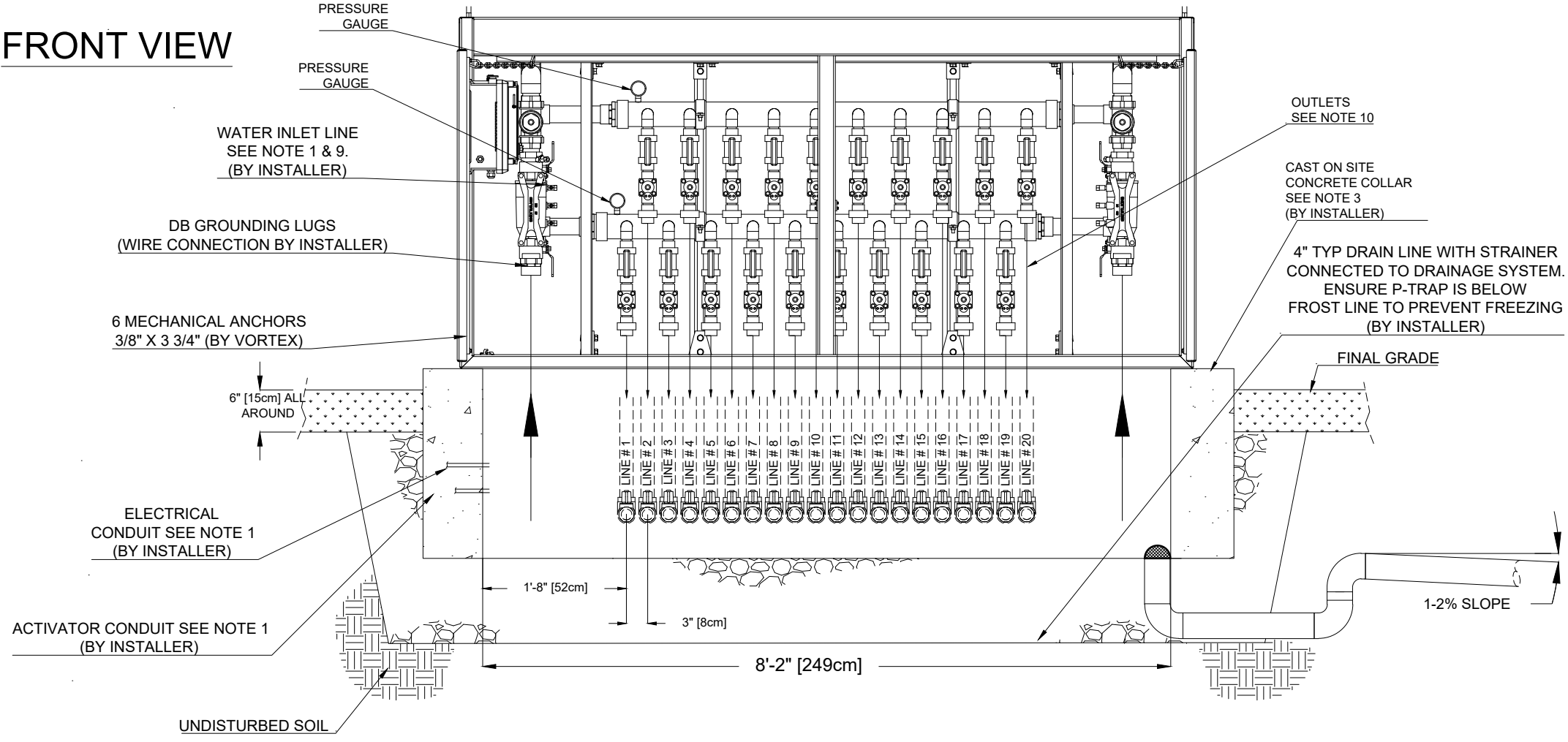
- NOTES:
1. REFER TO P&E DRAWINGS FOR PIPE SIZES AND ELECTRICAL CONNECTIONS
 2. REFER TO PRODUCT SPECIFICATION DOCUMENT FOR ADDITIONAL INFORMATION
 3. CONCRETE SURFACE,VERIFY LOCAL CODES FOR TYPE, THICKNESS & REINFORCEMENTS REQUIREMENTS
 4. "BY INSTALLER" MAY REFER TO SERVICE PROVIDERS OTHER THAN EQUIPMENT MANUFACTURER. PLEASE REFER TO THE PROJECT SCOPE OF WORK FOR DETAILS OF RESPONSIBILITIES
 5. IF THE CONTROLLER IS REMOTE LOCATED, CONDUCTORS # 18 AWG AT 10' LONG ARE PROVIDED BY VORTEX. FOR QUANTITY SEE PIPING AND ELECTRICAL SCHEMATIC DETAIL. GROUNDING OF J-BOX DONE BY INSTALLER
 6. DIRECTION OF FLOW FOR PLUMBING SHALL BE LABELED USING DIRECTIONAL SYMBOLS
 7. VALVES AND PLUMBING LINES SHALL BE LABELED WITH DESCRIPTION OF SOURCE OR DESTINATION
 8. OPTIONAL EQUIPMENTS
 9. INLETS CAN BE CONFIGURED TO:
 - 1X2" INLET (WITH OR WITHOUT 2" BFP / PR)
 - 2X2" INLET (WITH OR WITHOUT 2" BFP / PR)
 - 1X3" INLET (WITHOUT 3" BFP / PR)
 - 2X3" INLET (WITHOUT 3" BFP / PR. ONLY AVAILABLE AS CUSTOM UPON CUSTOMER'S REQUEST)
 10. OUTLETS CAN BE A COMBINATION UP TO 20 OF:
 - 1" GATE VALVE
 - 1" BRASS OR PVC SOLENOID VALVE WITH OR WITHOUT BALL VALVE
 - 1" FAST ACTING SOLENOID VALVE
 11. SEE PRODUCT INSTALLATION MANUAL FOR INSTALLATION TIPS

TOP VIEW

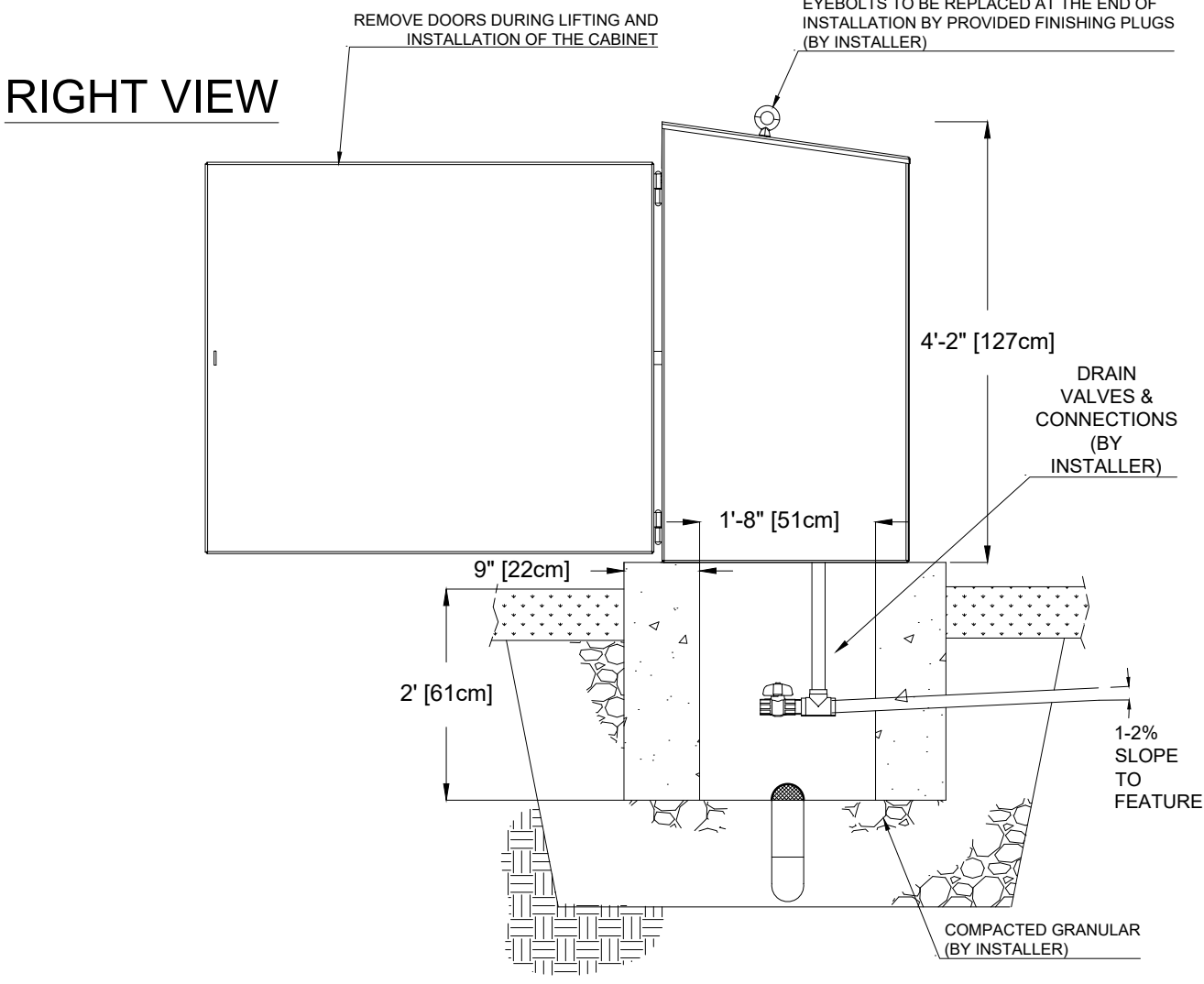


SPLASH PAD CONTROL PANEL
NOT TO SCALE

FRONT VIEW



RIGHT VIEW



GUY COMMUNITY CENTER IMPROVEMENTS
CITY OF MARINE CITY
545 WARD ST., MARINE CITY, MI 48039, ST. CLAIR COUNTY

SPLASH PAD DIAGRAM

DESIGN TEAM: PROJ MGR: LINE DESIGNED BY: AEG DRAWN BY: AEG CHECK BY:

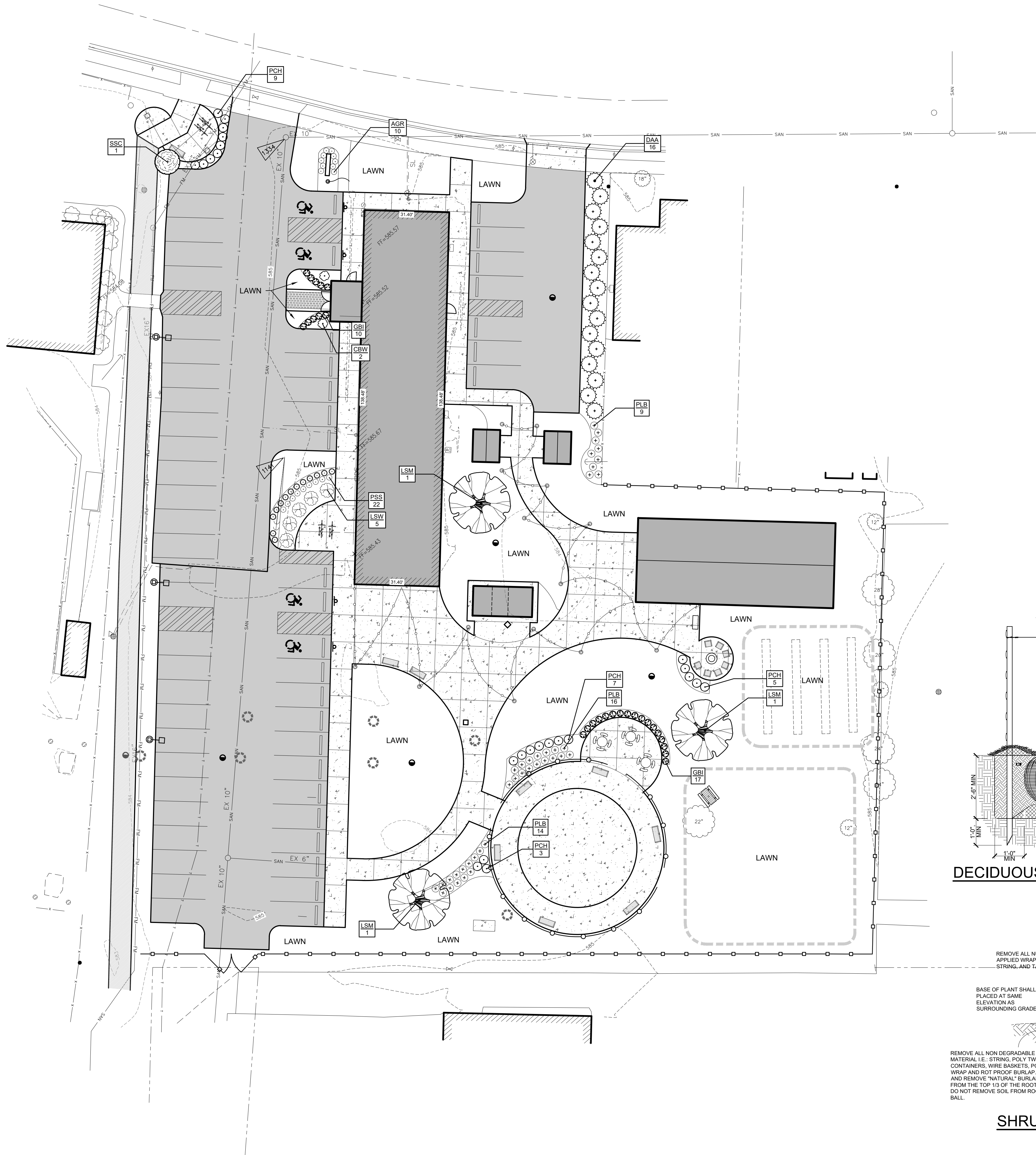
DRAWING INFORMATION: 870030_L-102 SPLASH 012425 llao

NOT FOR CONSTRUCTION

JAN 24, 2025
F&V PROJECT NO. 870030

FLEISCHMANN & VANDENBRINK
DESIGN, BUILD, OPERATE.
9475 Holly Rd, Suite 201
Grand Blanc, MI 48439
P: 810.743.9120
F: 810.771.7860

C-503

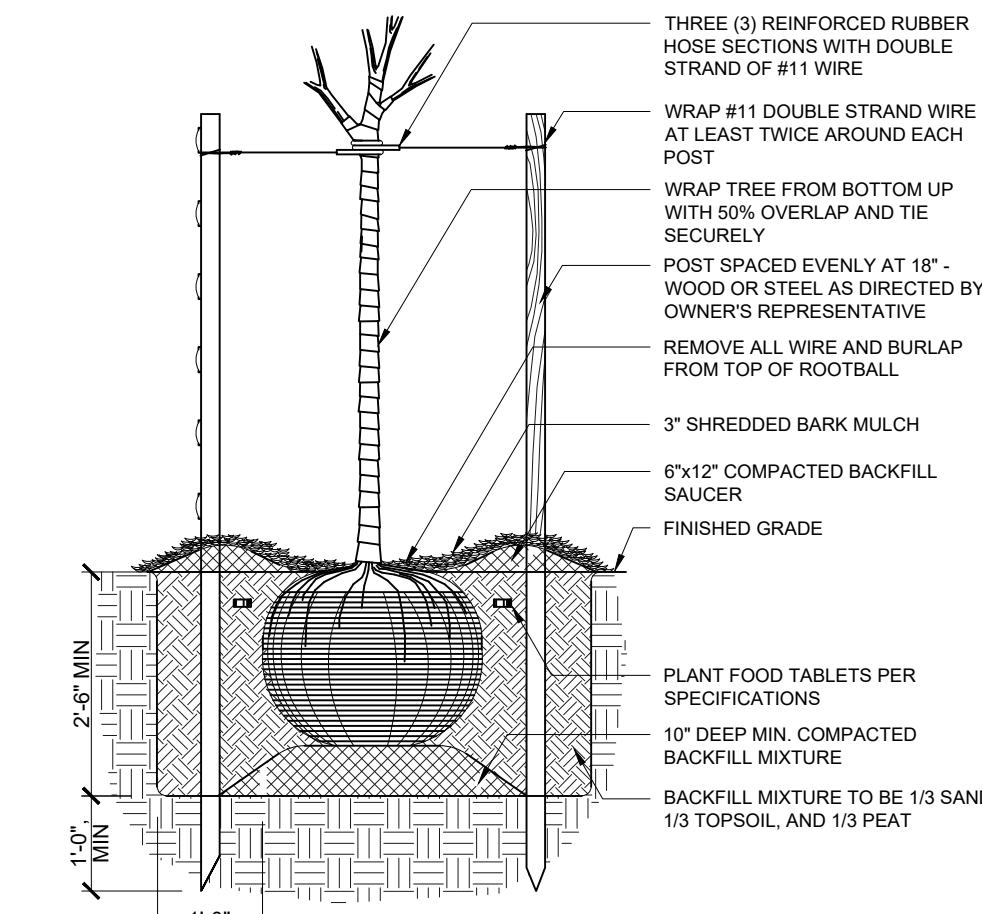


PROPOSED LANDSCAPE LEGEND

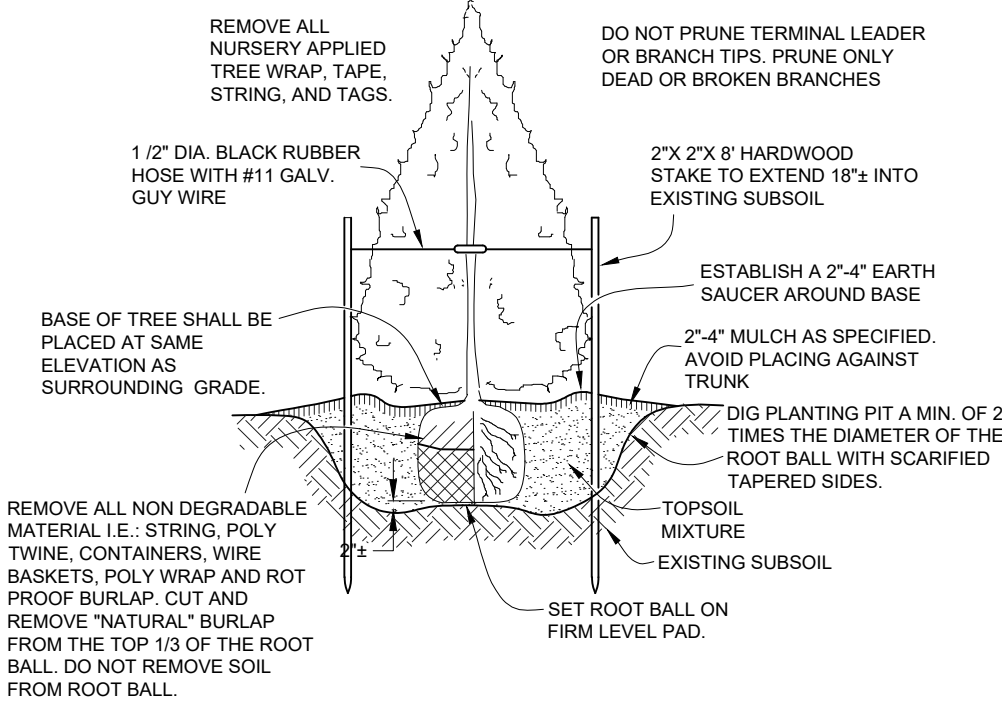
SYM	KEY	COMMON NAME	BOTANICAL NAME	MIN. SIZE	QTY
	LSM	LEGACY SUGAR MAPLE	<i>Acer saccharum</i> 'Legacy'	2'-2.5'	3 ea
	SSC	SPRING SNOW CRABAPPLE	<i>Malus</i> 'Spring Snow'	2'-2.5'	1 ea
	DAA	DARK AMERICAN ARBORVITAE	<i>Thuja occidentalis</i> 'Nigra'	6'-7' ht	16 ea
	LSW	LITTLE SUZIE WITCH-HAZEL	<i>Hamamelis virginiana</i> 'Little Suzie'	#5	5 ea
	KOH	KODIAK ORANGE HONEYSUCKLE	<i>Diervilla splendens</i> 'Kodiak Orange'	#3	1 ea
	PCH	PEACHES & CREAM HONEYSUCKLE	<i>Lonicera periclymenum</i> 'Inov 86'	#3	24 ea
	CBW	COLUMNAR BOXWOOD	<i>Buxus sempervirens</i> 'Fastigiata'	30"-36" ht	2 ea
	GBI	GEM BOX INKBERRY	<i>Ilex glabra</i> 'SMNIGAB17'	#3	27 ea
	PLB	PRAIRIE BLUE LITTLE BLUESTEM	<i>Schizachyrium scoparium</i> 'Prairie Blues'	#2	39 ea
	SLM	STANDING OVATION LITTLE BLUESTEM	<i>Schizachyrium scoparium</i> 'Standing Ovation'	#2	13 ea
	PSS	PENNSYLVANIA SEDGE	<i>Carex pensylvanica</i>	#1	13 ea
	AGR	AMERICAN GOLD RUSH BLACK-EYED SUSAN	<i>Rudbeckia</i> 'American Gold Rush'	#1	19 ea

LANDSCAPE NOTES:

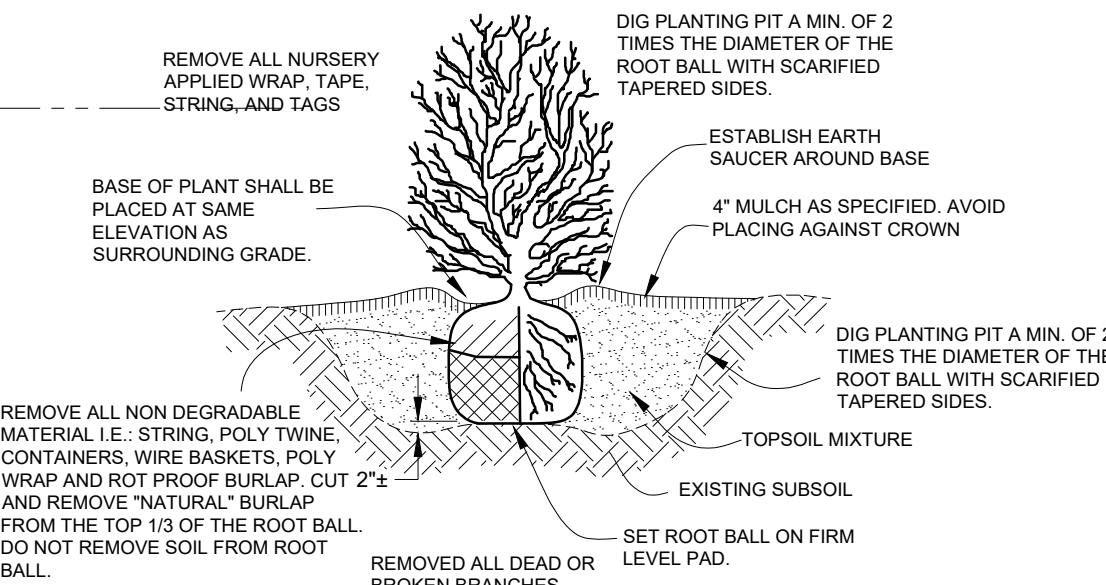
- 1) ALL LAWN AREAS ARE TO BE SEEDED. ALL PLANTINGS AND PLANTING BEDS ARE TO RECEIVE AN APPLICATION OF PRE-EMERGENT HERBICIDE AND A 3" LAYER OF HARDWOOD MULCH (UNLESS NOTED OTHERWISE ON THIS PLAN).
- 2) ALL PLANTINGS SHALL RECEIVE A MINIMUM OF 1" OF WATER PER WEEK UNTIL HEALTHY GROWTH HAS BEEN ESTABLISHED.
- 3) PLANT MATERIALS, QUANTITIES, AND LOCATIONS HAVE BEEN FIGURED AS CLOSELY AS POSSIBLE. HOWEVER, MATERIALS, QUANTITIES, AND LOCATIONS MAY BE ADJUSTED ON SITE IF NECESSARY. IT REMAINS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COMPLETE THE PROJECT AS INTENDED PER THIS PLAN.
- 4) THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY FOR A MINIMUM OF ONE YEAR FOR ALL LANDSCAPE MATERIALS ONCE INSTALLED.
- 5) ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF REFUSE AND DEBRIS AND KEPT IN A HEALTHY GROWING CONDITION.
- 6) SELECTION AND INSTALLATION OF PLANT MATERIAL INCLUDING SITE PREPARATION, PLANTING, PRUNING, WATERING AND CULTIVATING SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.



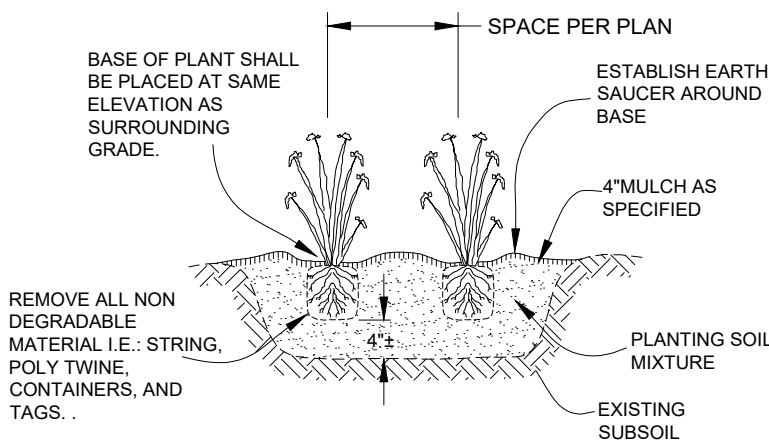
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



POTTED PERENNIAL PLANTING DETAIL
NOT TO SCALE

GUY COMMUNITY CENTER IMPROVEMENTS
CITY OF MARINE CITY
545 WARD ST., MARINE CITY, MI 48039, ST. CLAIR COUNTY
LANDSCAPE PLAN

DESIGN TEAM: PROJ MGR: LME
DESIGNED BY: AEG
DRAWN BY: AEG
CHECK BY:

DRAWING INFORMATION:
870030_L-101 LAND
012525 lisao

NOT FOR CONSTRUCTION

JAN 24, 2025
F&W PROJECT NO.
870030

L-101

FLEIS&VANDENBRINK
DESIGN, BUILD, OPERATE.
9475 Holly Rd, Suite 201
Grand Blanc, MI 48439
P: 810.743.9120
F: 810.771.7860



CITY OF MARINE CITY

260 SOUTH PARKER STREET

MARINE CITY, MI 48039

PHONE: (810) 765-8846 FAX: (810) 765-4010

Mr. Michael W. Reaves - City Manager
City of Marine City
260 S. Parker
Marine City, MI 48039

Re: City of Marine City request for consideration – Michigan Economic Development Corporation – Revitalization and Placemaking grant program – Marine City Community Center

Dear MEDC,

It's my pleasure to write a letter of support on behalf of Marine City for the- Revitalization and Placemaking (RAP) grant program. Marine City has acquired and is committed to the redevelopment of an under-utilized property in order to create the Guy Community Center. The Guy Community center is critical to the long term community vision for this facility and the property surrounding. The proposed Guy Community center was the former Marine City Lions Club – located at 545 Ward Street, in Marine City. Utilizing restricted funding Marine City has fully purchased this facility and adjoining property showing our commitment to a long sought after vision: Providing Marine City residents with a new resource -their own community center.

The Guy Community center is located adjacent to our little league baseball park, and the Bay to Bridge trailway. Both components adding to the economic and social impact this project will have on the surrounding community. The building will be utilized in numerous ways, including use as a rental facility to various groups or residents, visitors or businesses. We are already committed to hosting a variety of different social service groups, including the Marine City Lions, The Marine City Masons, the order of the Eastern Stars, as well as the daughters of Isabella, amongst others. We have significant plans to expand the use of this facility and its grounds, hosting a farmers' market, crafts show, several community days with food and activities. The addition of a renovated covered pavilion, a children's splash pad, additional outdoor restrooms, and additional parking are some of the amenities that are planned for this facility.

The Guy Community Center's location plays an important anchoring place adjacent to the Marine City School Complexes, and the trail head for the bay to Bridge trailway. The location allows for all within the surrounding community to partake in the use of this facility upon the fulfilling of the City's vision. The City of Marine City has made a significant investment for the community's use of this building, and advocated for infrastructure improvements within Marine City that greatly impact the health and

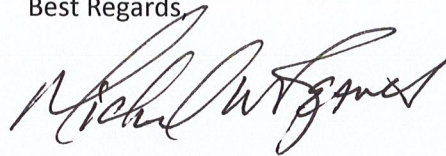
"In the Heart of Blue Water District"

wellbeing of the citizens in Marine City and St. Clair County. This project is yet another example of that type of commitment.

Providing resources for infrastructure improvement programs are critical to the success of vibrant communities. The Guy Community Center project is seeking out assistance through the MEDC RAP program to help make this vision a reality. As you are aware of, the improvement of infrastructure in communities such as Marine City allows for revitalization of both residential housing markets, and commercial business districts. I feel projects like the proposed Guy Community Center revitalization for Marine City promote a positive impact to all residents, and are in the best interest for the entire county.

In conclusion I fully support the efforts of Marine City as they seek external funding and support this effort to create a stronger future with an enhanced quality of life.

Best Regards,

A handwritten signature in black ink, appearing to read "Michael W. Reaves". The signature is fluid and cursive, with the first name "Michael" being the most prominent.

Michael W Reaves
City Manager
City of Marine City, Michigan



The Council on Aging, Inc.,
serving St. Clair County
www.thecouncilonaging.org

ADMINISTRATION OFFICE

600 Grand River Avenue
Port Huron, MI 48060
Phone: (810) 987-8811

DISTRICT OFFICES:

PORT HURON SENIOR CENTER

600 Grand River Avenue
Port Huron, MI 48060-3898
Phone: (810) 984-5061

WASHINGTON LIFE CENTER

403 N. Mary Street
Marine City, MI 48039
Phone: (810) 765-3523

YALE SENIOR CENTER

3 First Street
Yale, MI 48097
Phone: (810) 387-3720

CONRAD COMMUNITY CENTER

585 N. Main Street
Capac, MI 48014
Phone: (810) 395-7889

Mr. Michael W. Reaves
City Manager
260 S. Parker St.
Marine City MI 48039

December 19, 2024

Dear Mr. Reaves,

On behalf of The Council on Aging, inc., serving St. Clair County and our Washington Life Center in Marine City I write this letter in support of your planned grant request for MEDC RAP Funds for the Guy Community Center Project.

Creating opportunities for communities to gather and participate in recreational activities does so much for both the physical and mental health of the residents. The Council on Aging is always looking for ways to partner with others to help improve the health of our community and we see this as another space for collaboration.

We are pleased to offer our support and look forward to working with the city on this and other projects together.

Best Regards,

Scott A. Crawford
Executive Director



Friends of the St. Clair River

Michigan's Thumb Coast Watershed Organization
www.scriver.org

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Program Assistant

Taylor Fuller
Watershed Educator

December 16, 2024

Michele E. Goodrich, Deputy Clerk
City of Marine City
260 S. Parker St.
Marine City, MI 48039

Re: MEDC Revitalization and Placemaking Grant Application

Dear Michele,

Friends of the St. Clair River looks forward to supporting Marine City's Guy Community Center project. This effort aims to help solve shared challenges such as improving community engagement opportunities, providing the community with an inclusive community space designed for a multitude of uses, building a splash pad and revitalizing an adjacent park, and increase public accessibility to the 50+ mile Bridge to Bay Trail.

With this development comes the opportunity to use the property for community-based programming and re-establishment of the Marine City Parks and Recreation Department.

The Bridge To Bay Trail is a lasting investment that will benefit the areas in and around Marine City, forever. We view trails not just amenities for the few, but essential infrastructure to connect communities to each other and the outdoors. Having a connected trail system that showcases the city's amenities makes economic sense, which can't be separated from the environmental and recreational benefits.

We offer our full support for this project.

Sincerely,

Sheri J. Faust
Executive Director



480 S. Water Street
Marine City, MI 48039
(810) 765-4501
Chamber@VisitMarineCity.com

December 17, 2024

Subject: Letter of Support for the Marine City Community Center Proposal

To Whom It May Concern,

On behalf of the Marine City Chamber of Commerce, I am writing to express our strong support for the City of Marine City's grant request through the Michigan Economic Development Corporation's Revitalization and Placemaking (RAP) Program. This grant would provide crucial funding to acquire and redesign the property at 545 Ward Street, currently home to the Lions Club, as well as the adjacent park property. The proposed Marine City Community Center represents a transformative opportunity to enhance the quality of life for residents, foster economic development, and strengthen the social fabric of our community.

The Marine City Chamber of Commerce recognizes the vital role that accessible, inclusive spaces play in building vibrant communities. The proposed enhancements to the Ward Street property will create a facility that accommodates programming for all ages, offering much-needed opportunities for education, recreation, arts, and wellness. By providing a dedicated space for community events, workshops, and other activities, the center will serve as a cornerstone for civic engagement and a hub for fostering connections among residents and visitors alike.

Additionally, the redevelopment of this property aligns with the Chamber's mission to promote local businesses and support economic growth. A dynamic community center will not only attract visitors to Marine City but will also encourage collaboration among businesses, nonprofits, and civic organizations, enhancing our community's overall appeal as a place to live, work, and visit. The synergy between this project and ongoing local initiatives, such as our historic preservation efforts and vibrant downtown events, further underscores its significance.

The Marine City Chamber of Commerce is proud to support this initiative. We applaud the City of Marine City for its vision and commitment to improving the lives of its residents and look forward to seeing the positive impact of this project.

Sincerely,

Laura Merchant

Laura Merchant, Director



12/16/2024

City of Marine City
Michael Reaves, City Manager
Marine City, MI 48039

Dear Michael Reaves,

I hope this letter finds you well. On behalf of the St. Clair County Great Start Collaborative, I am pleased to offer our support for the City of Marine City's proposal to enhance and repurpose the property located at 545 Ward St. and the adjacent park to establish a Marine City Community Center.

The proposed redevelopment will create a vibrant, inclusive space where community members of all ages and abilities can gather, learn, and engage in meaningful programming. The Great Start Collaborative is dedicated to supporting the educational and developmental needs of our community and we recognize the significant impact that such a facility will have on both individuals and families. A location for programming will help foster stronger community connections, provide recreational and educational opportunities, and contribute to the overall well-being of Marine City's families.

We are confident that this project will enhance the community and we look forward to seeing the Marine City Community Center become a reality.

Sincerely,

Jennifer Gunderson
Great Start Collaborative Coordinator
St. Clair County RESA

December 13, 2024

City of Marine City
260 S. Parker St.
Marine City, MI 48039

Dear Revitalization and Placemaking Program Team,

On behalf of Michigan State University (MSU) Extension and with support from the local St. Clair County MSU Extension office, we are pleased to provide a letter of support for Marine City's application for the Revitalization and Placemaking Program (RAP) grant in support of purchasing and renovating a property to establish a community center.

MSU Extension has partnered with many organizations and agencies in St. Clair County over the past several decades to offer educational programming to community members. A community center in Marine City would be an ideal venue to host these various programs to enhance the lives of all residents, from children and youth to parents and older adults. These could include one-time presentations, a series of programs, and coaching to make the healthy choice the easy choice for community members. Efforts are established based on the needs of the community and partner.

Additionally, MSU Extension is an implementer of the USDA-funded Supplemental Nutrition Assistance Program – Education (SNAP-Ed) in Michigan. We believe that the the RAP grant will further assist the City of Marine City in their goal of establishing a center where it's residents can gather and learn. We are looking forward to being part of this dream.



MSU EXTENSION

Health and Nutrition Institute

160 Agriculture Hall
Michigan State University
East Lansing, MI 48824-1039

517.432.7575
Fax: 517.355.6748
www.msue.msu.edu

Should you have any questions, please contact us at oberski9@msu.edu or cheryl@msu.edu.

Sincerely,

Karly Creguer
Director, District 10

Cheryl Eschbach
Director, Health and Nutrition Institute



December 16, 2024

Revitalization and Placemaking Program
Michigan Economic Development Corporation
300 N. Washington Square
Lansing, MI 48913

Re: R.A.P. Application, Guy Community Center

Dear Review Committee,

I am writing today on behalf of the Economic Development Alliance of St. Clair County in support of a request by the City of Marine City for Michigan Economic Development Corporation funding under the Revitalization and Placemaking Program.

Marine City seeks to purchase and revitalize a former Lions Club building located at 545 Ward St. with the intent of opening a new community center. The vision is to develop a multi-functional facility that increases community engagement and inclusivity with a multitude of uses. In addition to the community center, the project includes revitalizing an adjacent park, and increasing public access to the Bridge to Bay Trail System. Park improvements include the addition of a splash pad, barrier free walkway system, and outdoor bathrooms.

This project in its entirety will significantly enhance walkability and inclusivity while increasing tourism, promoting new opportunities for economic development, and fostering a strong sense of community pride. These additions and amenities clearly meet the intent of the Revitalization and Placemaking Program and demonstrate a strong commitment by Marine City to serve its residents and visitors to the community.

For these reasons, I urge your careful consideration of Marine City's application.

Sincerely,

Daniel B. Casey
CEO, Economic Development Alliance of St. Clair County



Marine City Lions Club

Mr. Michael W. Reaves – City Manager

Marine City Guy Community Center project
City of Marine City
260 S. Parker
Marine City, MI 48039

Dear Mr. Reaves,

It's my pleasure to write a letter of support for the Marine City Guy Community Center project. The Marine City Lions Club has always advocated for Community Centers for the health and well-being of the citizens in Marine City. Our mission of service to the community states that belief.

Providing space for community exercise programs, community events, literacy programs, children's programs, and a community warming or cooling center, is one of the main reasons we chose the City of Marine City to continue on with the Lions Club legacy of becoming the Guy Community Center. I feel this project promotes a positive impact to young and mature residents and is in the best interest for the entire city, and the surrounding region.

In conclusion I fully support the efforts of the City of Marine City as they seek external funding and support for this effort to create a stronger future with an enhanced quality of life.

Best Regards,

Terry Filo
Executive Board Vice President
Marine City Lions Club



The Marine City Little League strongly supports the proposed improvements to the Lions Club property. Situated adjacent to our primary field, these enhancements would significantly benefit our daily games in several ways. First, the property would provide additional parking for families, ensuring better accessibility and a more efficient layout around our fields. Additionally, if the Lions Club property were to incorporate more attractions for children, families with younger siblings would be more likely to join the Little League, as the expanded facilities would provide entertainment for all ages during games.

Furthermore, having more children and families at the park could have a positive financial impact. With increased foot traffic, our concession stand would likely see higher sales, supporting the league's operations.

Given the proximity of the Lions Club property to our field, the proposed improvements would enhance the overall design of the entire city park. One particular suggestion is the addition of a small indoor practice facility, which would provide our Little League teams with a dedicated space for training, particularly during inclement weather. This would make our league even more attractive to potential participants and help foster growth.

Overall, the advancement of the Lions Club property would create numerous opportunities for the Marine City Little League, fostering both growth and community engagement.

Thanks

Alan Fraley - President of Marine City Little League



Mr. Michael W. Reaves - City Manager
Marine City Guy Community Center project
City of Marine City
260 S. Parker
Marine City, MI 48039

Dear Mr. Reaves,

It's my pleasure to write a letter of support for the Marine City Guy Community Center project. United Way of St. Clair County has always advocated for Community Centers for the health and wellbeing of the citizens in St. Clair County.

Providing space for community exercise programs, community events, literacy programs, children's programs, and a community warming or cooling center. As well as maintaining space for man-made or natural disaster emergencies. I feel projects that promote a positive impact to young and mature residents is in the best interest for the entire county.

In conclusion I fully support the efforts of the Marine City Parks and Recreation Department as they seek external funding and support this effort to create a stronger future with an enhanced quality of life.

Best Regards,

Brent Gillette

Brent Gillette
Executive Director
United Way of St. Clair County



*Honoring the Past &
Building the Future*

United Way of St. Clair County

1723 Military Street • Port Huron, MI 48060 • P 810.985.8169 • F 810.982.7202 • www.uwstclair.org



Blue Water Community Action...

*Helping People.
Changing Lives.*

December 19, 2024

City of Marine City
Michael Reaves, City Manager
Marine City, MI 48039

RE: MEDC Revitalization and Placemaking Program

On behalf of Blue Water Community Action, we are pleased to offer our support for grant funding through the Revitalization and Placemaking Program for the City of Marine City's proposal to purchase and revitalize a former Lions Club building, located at 545 Ward St., with the intent of establishing a community center.

The mission of the Blue Water Community Action is to advocate for and provide individuals with limited income an opportunity to become socially and economically self-sufficient in their community and we believe having a dedicated community center, in close proximity to the Library, Bridge to Bay pedestrian trail and other City service buildings, will allow community members of all ages and ability levels to come together and participate in educational opportunities and have access to supportive services and resources that may have been previously unattainable. A central location for programming will significantly help to foster stronger community connections.

We firmly believe this project will deliver lasting benefits to the City of Marine City and we respectfully encourage your favorable consideration of this application.

Sincerely,

Karen Lake
Executive Director
3403 Lapeer Rd
Port Huron MI 48060
klake@bwcaa.org
(810) 982-8541



**COMMUNITY
ENTERPRISES**
ST. CLAIR COUNTY

December 19, 2024

To Whom it May Concern:

When I first heard of Marine City's plans for the Guy Community Center, I was immediately drawn by their apparent commitment to fostering spaces that are universally accessible. Upon further reading about their plans, I am no longer just drawn, but excited about the possibilities.

Community Enterprises of St. Clair County has been operating the largest day program from adults with Intellectual and Developmental Disabilities in the thumb region for over 50 years. Throughout our history we have advocated for, created and been at the forefront of creating and engaging in accessible spaces. To see the commitment to these ideals now being led by community leaders in Marine City is a realization of decades of work by those that came before us.

The population we serve is often still an afterthought or entirely overlooked when plans of this nature are formed. This is clearly not the case with the development of this project. Our programs serve over 225 residents and are always seeking opportunities for increased community engagement, social-recreational opportunities, and just a chance to experience all the things their able-bodied peers sometimes take for granted. This project checks all those boxes.

Community Enterprises fully support this project and applaud Marine City's forward thinking and commitment to creating a community and spaces that all people can benefit from and enjoy together.

Respectfully,

Scott Shine

Executive Director

Admin/Skills Center
1033 26th Street
Port Huron, MI 48060
(p) 810-982-3261